

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
DECEMBER 8, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

(I) CALL TO ORDER

(II) EXECUTIVE SESSION

The Planning and Zoning Commission will recess into Executive Session to discuss the following matters as authorized by Chapter 551, *Open Meetings*, of the Texas Government Code:

- (1) Discussion regarding matters that can be legally considered when reviewing zoning cases pursuant to Section 551.071 (Consultation with Attorney).

(III) ADJOURN EXECUTIVE SESSION/RECONVENE PUBLIC HEARING (6:30 PM)

(IV) OPEN FORUM

(V) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.
- (2) Appointment with Adam Buczek of the Skorburg Co. on behalf of Ryan Joyce of Michael Joyce Properties, LLC to consider a request to submit a new zoning application for a zoning change in accordance with Section 02.05, *City Council Action*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), and take any action necessary.

(VI) CONSENT AGENDA

- (3) Approval of Minutes for the November 24, 2020 Planning and Zoning Commission meeting.
- (4) **P2020-047 (DAVID GONZALES)**
Discuss and consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDT Rockwall 2017, LLC for the approval of a Preliminary Plat for Phase 3 of the Saddle Star Subdivision consisting of 33 single-family residential lots on a 14.995-acre tract of land identified as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of John King Boulevard northeast of the intersection of John King Boulevard and Featherstone Drive, and take any action necessary.

(VII) PUBLIC HEARING ITEMS

- (5) **Z2020-041 (RYAN MILLER)**
Hold a public hearing to discuss and consider approval of a Text Amendment to Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of amending the requirements for land use and development within the *Lake Ray Hubbard Takeline*, and take any action necessary.
- (6) **Z2020-048 (HENRY LEE)**
Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.
- (7) **Z2020-049 (HENRY LEE)**
Hold a public hearing to discuss and consider a request Sam Hernandez for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2342-acre parcel of land identified as Lot 48 of the Canup's Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 304 E. Bourn Street, and take any action necessary.

(8) **Z2020-050 (HENRY LEE)**

Hold a public hearing to discuss and consider a request Perry Bowen on behalf of Kyle Bryan for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.

(9) **Z2020-051 (HENRY LEE)**

Hold a public hearing to discuss and consider a request Travis Redden for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary.

(10) **Z2020-052 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Thomas Jones of Tomden Engineering, LLP on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5651 SH-276, and take any action necessary.

(11) **Z2020-053 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by David Meinhardt of Meinhardt & Associates, PLLC on behalf of Ed Burke of Channell Commercial Corporation for the approval of a Zoning Change from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and take any action necessary.

(12) **Z2020-054 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Corky Belanger for the approval of a Specific Use Permit from an accessory structure on a 0.161-acre parcel of land identified as Lot 9, Block C, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and take any action necessary.

(VIII) **ACTION ITEMS**

(13) **SP2020-031 (DAVID GONZALES)**

Discuss and consider a request by Darrel Kotzur, PE of KSA Engineers on behalf of the owner Mary Courtin of Courtin Dental for the approval of a Site Plan for a daycare facility and a medial office on a 1.743-acre tract of land identified as a portion of Lot 9, Block A, Flagstone Corners Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 54 (PD-54) for Commercial (C) District land uses, situated at the southeast corner of the intersection of E. Ralph Hall Parkway and Mims Road, and take any action necessary.

(IX) **DISCUSSION ITEMS**

(14) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2020-048: Replat for Lots 4-7, Block A, Dalton Goliad Addition
- MIS2020-017: Variance to the Underground Utility Requirements for 2600 Lakefront Trail

(X) **ADJOURNMENT**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on December 4, 2020 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Adam Buczek; *Skorburg Co.*

DATE: December 8, 2020

SUBJECT: Reapplication Request for Zoning Change

On October 16, 2020, the applicant -- *Adam Buczek of the Skorburg Co.* -- submitted an application requesting to rezone a 121.16-acre tract of land (*i.e. Tract 2 of the J. M. Gass Survey, Abstract No. 88*) from Neighborhood Services (NS) District and Single-Family 16 (SF-16) District to a Planned Development District for Single-Family 10 (SF-10) District land uses [*Case No. Z2020-045*]. Specifically, the applicant was proposing to entitle the subject property for a 264-lot single-family, residential subdivision that would have incorporated 193, 60' x 120' (*i.e. a minimum of 7,200 SF*) lots and 72, 70' x 120' (*i.e. a minimum of 8,400 SF*) lots. On November 10, 2020, the Planning and Zoning Commission approved a motion to recommend denial of the zoning change by a vote of 4-3, with Commissioners Womble, Deckard, and Welch dissenting. Since this request was recommended for denial by the Planning and Zoning Commission, the proposed zoning change required a supermajority vote (*i.e. three-fourths vote of those members present*) with a minimum of four (4) votes in the affirmative required for approval [*Subsection 02.03(G); Article 11; UDC*]. On November 16, 2020, the City Council failed to approve a motion adopting the zoning change by a supermajority vote. The motion to approve failed by a vote of 5-2, with Councilmembers Campbell and Macalik dissenting. Since the motion to approve failed and no subsequent motion was made, the failure is considered to be a denial with prejudice [*Subsection 02.05(B)(2); Article 11; UDC*].

Based on these events, "...a new application may not be submitted for the same lot or tract of land -- *or any portion thereof* -- for a period of one (1) year unless the request is for more restrictive or less intense land use than the previously denied request ..."; however, Subsection 02.05(C), *Reapplication*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) allows an applicant to submit a written request to the Director of Planning and Zoning requesting to resubmit an application based on "... [1] An actual change in conditions relating to the lot or tract of land -- *or any portion thereof* -- or any surrounding properties; or, [2] The new request is for a more restrictive or less intense land use than the previously denied request." Under this circumstance the Director of Planning and Zoning is to review the request and report to the Planning and Zoning Commission on whether or not such request meets the aforementioned criteria, and the Planning and Zoning Commission is to either grant or deny the request for reapplication.

On November 24, 2020, the applicant sent a request to the Director of Planning and Zoning requesting to resubmit an application based on the new concept plan -- *attached to this memorandum* -- and following proposed changes:

- (1) *Lot Mix*. The applicant is proposing a new lot mix of 262-lots consisting of 149, 60' x 120' (*i.e. a minimum of 7,200 SF*) lots; 61, 70' x 120' lots (*i.e. a minimum of 8,400 SF*); and 52, 72' x 120' (*i.e. a minimum of 8,640 SF*) lots. This represents a reduction of 44 of the smaller 7,200 SF lots and an increase of 41 of the larger 8,400 SF. In addition, the applicant has decreased the overall lot count by two (2) lots, which has a nominal change in the overall density decreasing it from 2.19 to 2.16 dwelling units per acre.
- (2) *Setbacks*. The applicant is proposing to increase the side yard setback on the 70' x 120' lots and the 72' x 120' lots from five (5) feet to six (6) feet. This will bring the request closer into conformance with the requirements of the OURHometown Vision 2040 Comprehensive Plan. Specifically, Subsection 02.03 of Chapter 8, *Residential*, of the OURHometown Vision 2040 Comprehensive Plan states that residential developments should "...(*r*)equire a larger separation between homes to make neighborhoods feel more spacious. This separation should be no less than 12-feet (*i.e. six [6] foot side yard building setback*) and should be scaled to the height of the home."
- (3) *Minimum Area/Dwelling Unit SF*. The applicant is proposing to increase the minimum square footage of all housing products to 2,200 SF. On the prior request the minimum housing size for the 60' x 120' lots was 2,000 SF.

- (4) Open Space/Amenity Center. With all of the above changes, the applicant was able to also incorporate a nominal increase in the amenity center open space of 0.125-acres bring the total to 1.145-acres from 1.020-acres; however, the overall the open space did decrease by 0.97-acres to 50.80-acres from 51.77-acres. Staff should note that the overall request is still in substantial compliance with the 20% open space requirement stipulated by the Unified Development Code (UDC).

Based on [1] previous approvals by the Planning and Zoning Commission with regard to requests for reapplication, [2] the applicant's proposed changes outlined above, and [3] how the proposed changes impact the request's conformance with the OURHometown Vision 2040 Comprehensive Plan, staff has determined that the applicant's request is a substantial enough change to warrant bringing the request forward to the Planning and Zoning Commission. In rendering this verdict, staff reviewed the video from both the Planning and Zoning Commission meeting on November 10, 2020 and the City Council meeting on November 16, 2020, and noted that the applicant addressed many of the Planning and Zoning Commission and City Council's concerns (*i.e. the concerns that related to the requirements of the Unified Development Code [UDC] and the OURHometown 2040 Comprehensive Plan*). Based on the Director of Planning and Zoning's report, the Planning and Zoning Commission is being tasked with determining if the applicant should be permitted to refile an application for the zoning change. Should the Planning and Zoning Commission have any questions, staff and the applicant will be available at the meeting on December 8, 2020.

Miller, Ryan

From: Adam Buczek <abuczek@skorburgcompany.com>
Sent: Tuesday, November 24, 2020 3:39 PM
To: Miller, Ryan
Cc: Kevin Harrell
Subject: Nelson Lakes revised concept plan for "Substantial Change" discussion
Attachments: Nelson Lakes revised concept with AB notes_11-24-20.pdf; NEW_Nelson Lake Concept Plan_11-24-20.pdf; OLD_Nelson Lakes_Exhibit B Concept Plan.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Ryan,

Regarding Nelson Lakes and our desire to submit a letter to you to request the P&Z to vote on whether or not our revised Nelson Lakes concept plan would be accepted / deemed a Substantial Change by P&Z on 12/8 (provided we submitted to you our request by 12/1) to allow us to resubmit a revised zoning request – please see attached:

- 1) Our revised (as of today) Nelson Lakes concept plan with my notes marking the percentages of the 3 lot types (we added a lot category of 72' x 120').
- 2) The clean revised concept plan.
- 3) The OLD concept plan (so you can quickly see how substantially different our revised lot mix is with this revised plan)

In addition to the significantly different lot mix (hopefully staff and P&Z will agree), we reaffirm our commitment to also incorporate into our revised Nelson Lakes PD (if allowed to resubmit) the 2 requests in the motion made by city council (which garnered a favorable vote of 5-2):

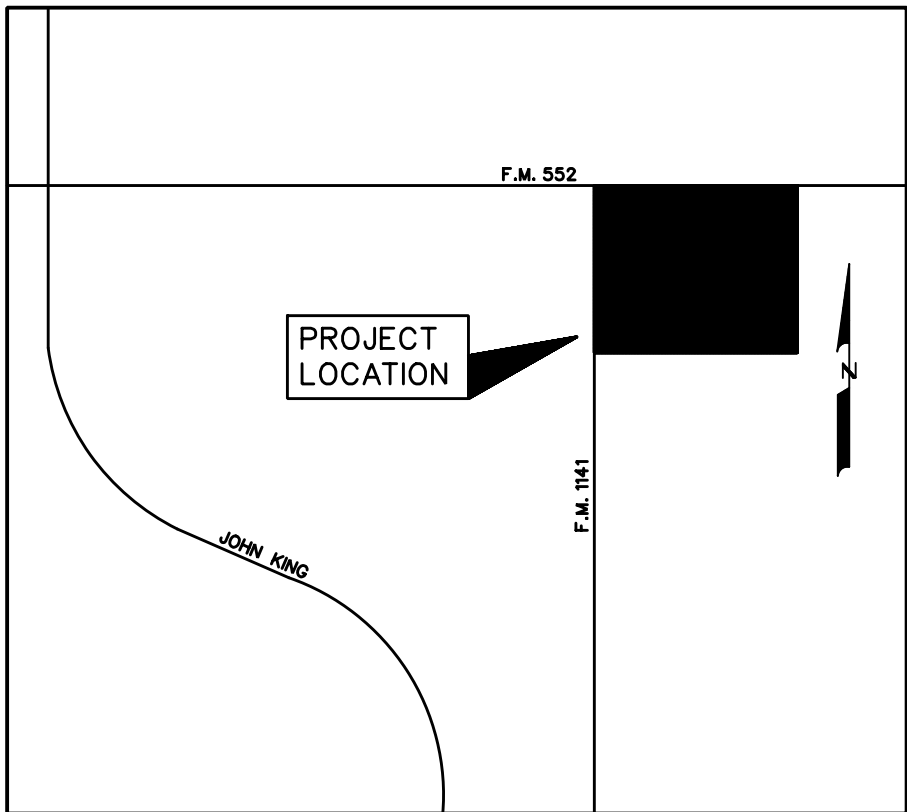
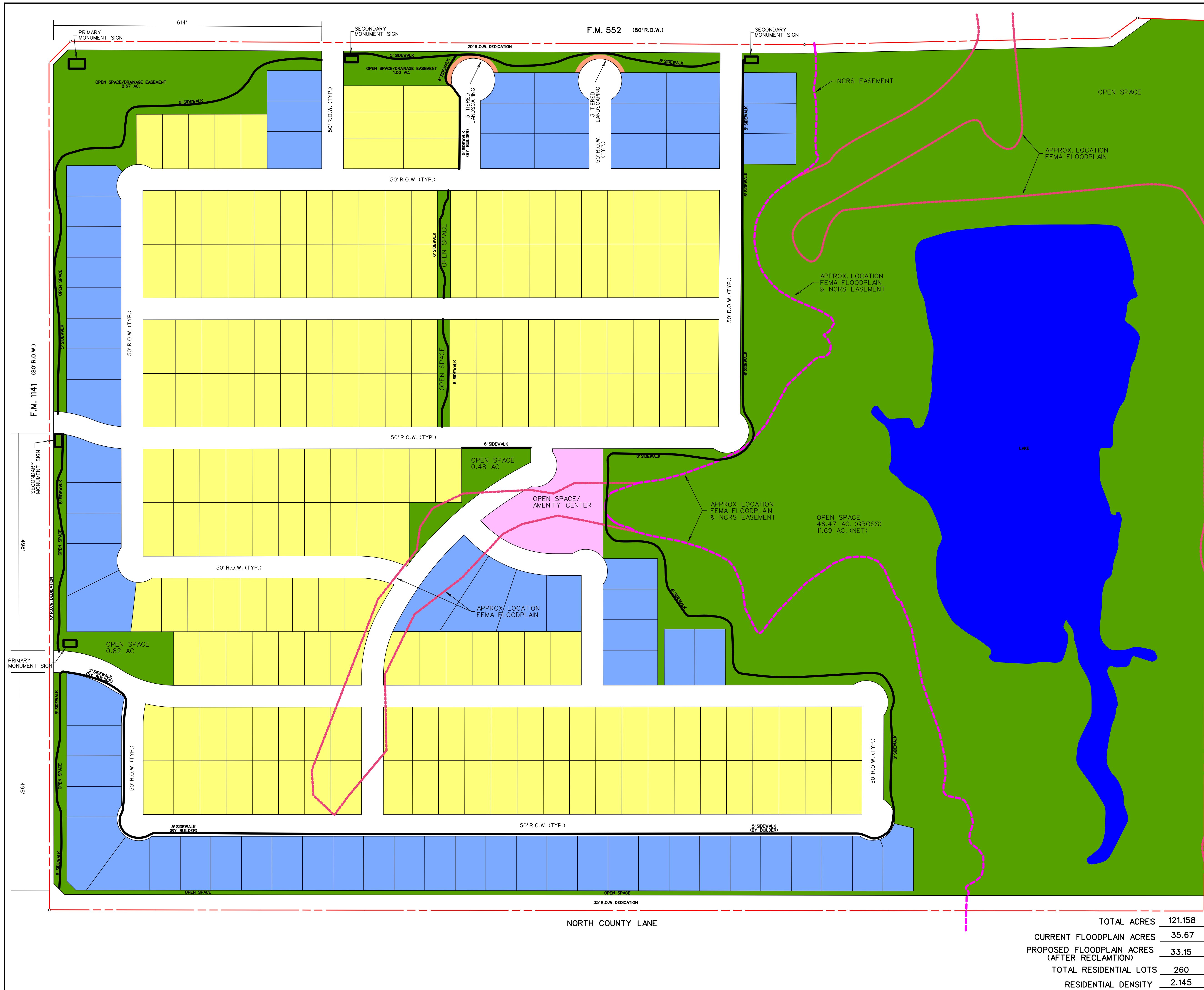
- 1) All 70' and 72' wide lots shall have a 6' side yard setback (except the ones adjacent to a street which shall have the standard 20' side yard setback). The 70' and 72' wide lots total 113 lots of the total 262 lots, representing 43.1% of the lots are now 70' or larger – thereby leaving just 56.9% of the lots (or 149 lots) being the (60' x 120') lot type which will remain with a 5' side yard setback.
- 2) All houses shall have a minimum A/C square footage of 2,200 SF. (Previously the minimum was 2,000 SF).

We were able to make all these changes and our net change (reduction) in open space was only 0.845 acres versus the prior plan – so it's materially the same in all other respects. The amenity center open space increased by 0.125 acres while the "green space" decreased by 0.97 acres (hence, the net decrease of only 0.845 acres of total open space). We had plenty of extra open space to begin with – so we remain significantly over the 20% requirement.

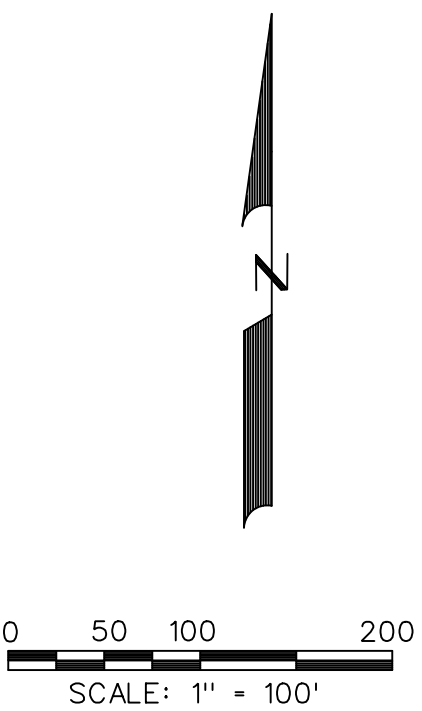
Please take a look and let me know if you need anything more formal than this e-mail to process our request of P&Z for determination if this would meet a Substantial Change definition.

Best Regards,

Adam J. Buczek
Development Partner
Skorburg Company
8214 Westchester Drive, Suite 900
Dallas, Texas 75225
Ph: (214) 888-8843
Cell: (817) 657-5548



LOCATION MAP
N.T.S.



LEGEND

TYPICAL LOT SIZES

- 60' X 123' - 188 LOTS
- 70' X 123' - 72 LOTS
- PUBLIC OPEN SPACE/ LANDSCAPE BUFFER - 51.77 AC.
- AMENITY CENTER - 1.020 AC.

NOTE:
THE MAXIMUM NUMBER OF RESIDENTIAL LOTS
SHALL NOT EXCEED 265 LOTS.

CONCEPT PLAN OF NELSON LAKE ESTATES

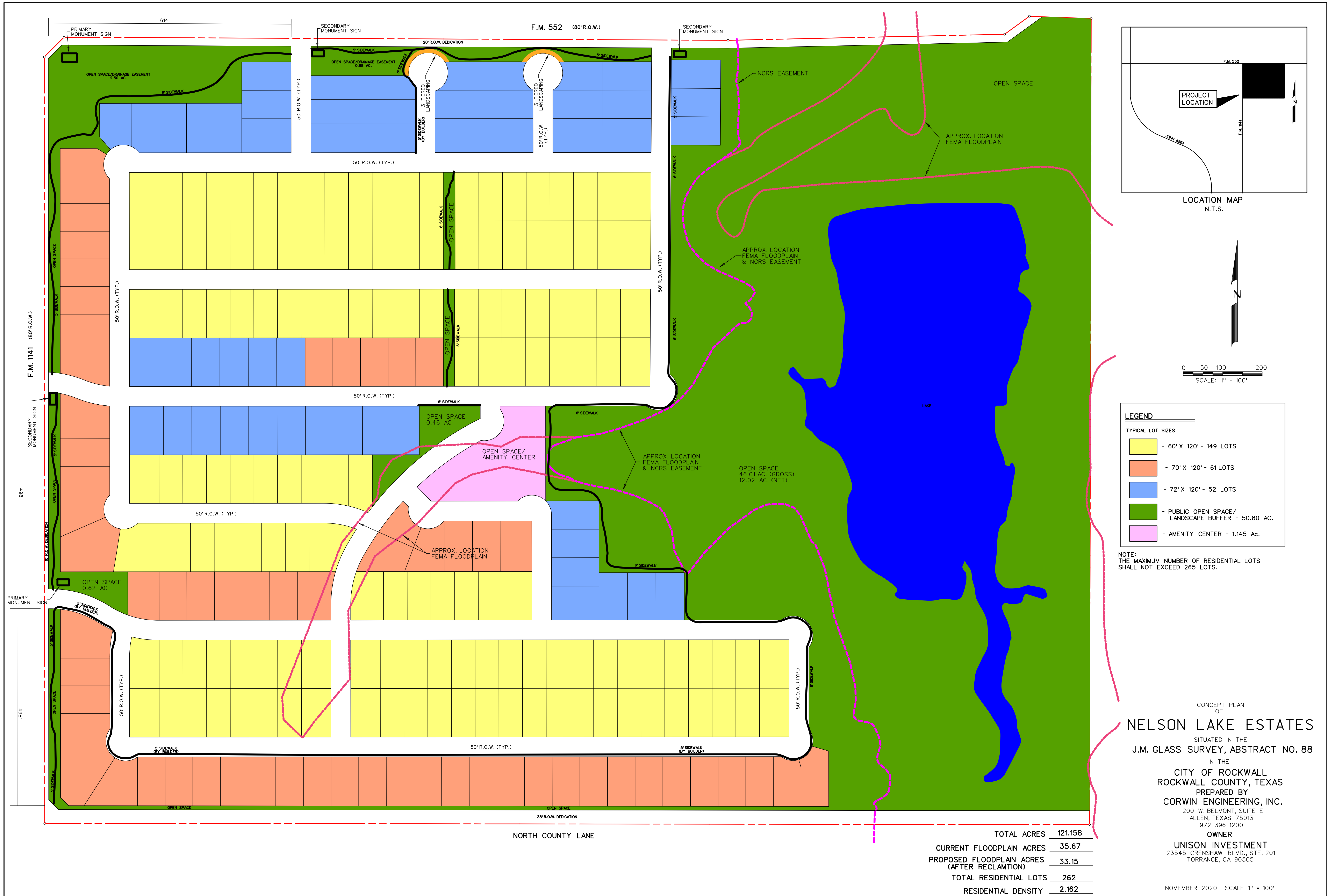
SITUATED IN THE
J.M. GLASS SURVEY, ABSTRACT NO. 88

IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
CORWIN ENGINEERING, INC.

200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

OWNER
UNISON INVESTMENT
23545 CRENSHAW BLVD., STE. 201
TORRANCE, CA 90505

TOTAL ACRES	121.158
CURRENT FLOODPLAIN ACRES	35.67
PROPOSED FLOODPLAIN ACRES (AFTER RECLAMATION)	33.15
TOTAL RESIDENTIAL LOTS	260
RESIDENTIAL DENSITY	2.145



MINUTES



PLANNING AND ZONING COMMISSION WORK SESSION MEETING CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS NOVEMBER 24, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

I. CALL TO ORDER

Vice-Chairman Welch called the meeting to order at 6:01 PM. Commissioners present were John Womble, Mark Moeller, and Jean Conway. Absent from the meeting were Chairman Eric Chodun and Commissioners Derek Deckard and Sedric Thomas. Staff members present were Planning and Zoning Director Ryan Miller, Planning and Zoning Manager David Gonzales, Planner Henry Lee, Planning and Zoning Coordinator Angelica Gamez, City Engineer Amy Williams, and Civil Engineer Sarah Johnston.

II. OPEN FORUM

Vice-Chairman Welch explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being no one coming forward, Vice-Chairman Welch closed the open forum.

III. APPOINTMENTS

1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the Architectural Review Board meeting.

IV. CONSENT AGENDA

2. Approval of Minutes for the November 10, 2020 Planning and Zoning Commission meeting.

3. P2020-048 (DAVID GONZALES)

Consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Donald L. Silverman of Rockwall 205-552, LLC for the approval of a Replat for Lots 4-7, Block A, Dalton Goliad Addition being a 5.683-acre parcel of land identified as Lot 2, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the N. SH-205 Overlay (N. SH-205 OV) District, generally located on the west side of SH-205 north of the intersection of SH-205 and FM-552, and take any action necessary.

4. SP2020-030 (DAVID GONZALES)

Discuss and consider a request by Jason Linscott of Texas Health Hospital Rockwall for the approval of an Amended Site Plan for the central utility plant associated with an existing hospital (i.e. Presbyterian Hospital of Rockwall) that is situated on a 17.562-acre parcel of land identified as Lot 23, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3150 Horizon Road, and take any action necessary.

Commissioner Womble made a motion to approve the consent agenda. Commissioner Moeller seconded the motion which passed by a vote of 4-0 with Chairman Chodun and Commissioners Deckard and Thomas absent.

V. ACTION ITEMS

5. MIS2020-015 (DAVID GONZALES)

Discuss and consider a request by Gary Gordon for the approval of a Special Exception to allow a front yard fence on a 0.687-acre parcel of land identified as Lot 1, Block A, Barz Acre Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 222 W. Quail Run Road, and take any action necessary.

Planning and Zoning Manager David Gonzales provided a brief summary in regards to the request. The applicant is requesting a front yard fence for the property. The fence will be a wrought iron fence to exceed 48-inches in height. The proposed fence will be 52-inches tall and there will be a decorative metal design attached at the top. Mr. Gonzales then advised the Commission that the applicant and staff were present and available for questions.

Vice-Chairman Welch asked the applicant to come forward.

Gary Gordon
222 W. Quail Run
Rockwall, TX 75032

Mr. Gordon came forward and provided an explanation in regards to his request. His main reasoning for the fence was due to having safety issues. He stated that if he was only allowed to do the 48-inches then he would abide by that.

Vice-Chairman Welch asked if there were any pictures showing the proposed décor of the fence.

Commissioner Moeller asked about the fence being in the right-of-way and if the applicant would be willing to move it back the appropriate distance.

Commissioner Womble made a motion to approve item MIS2020-015 at 48-inches out of the right-of-way and within property lines. Commissioner Moeller seconded the motion which passed by a vote of 4-0.

6. MIS2020-017 (RYAN MILLER)

Discuss and consider a request by Jim Ziegler of PegasusAblon on behalf of Rockwall Rental Properties, LLP for the approval of a *Miscellaneous Request* for a variance to the underground utility requirements stipulated by the Municipal Code of Ordinances and the Unified Development Code (UDC) for a 1.064-acre parcel of land identified as Lot 11, Block A, The Rockwall-Harbor Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located between 2125 & 2600 Lakefront Trail, and take any action necessary.

Planning and Zoning Director Ryan Miller provided a brief summary in regards to the request. The applicant is requesting the approval of a variance to the underground utilities located between 2125 & 2600 Lakefront Trail. Mr. Miller explained that the applicant is currently constructing a 375-unit condominium building addressed as 2600 Lakefront Trail. As part of that case. The applicant was proposing to construct a public garage for the Harbor retail. After going through all the necessary approvals, the applicant is now in the construction phase of his projects. During the construction, he came upon an issue. Currently, there are above ground power lines that run along Lakefront Trail and cross roughly in the middle of the proposed parking garage then continue in the right-of-way of Lakefront Trail to Summer Lee. At the corner of the property there is a pole and underneath that area are 2 RCBs (reinforced concrete boxes) that run parallel there. The applicant is trying to underground the utilities as they're doing with the rest of the site but they're having a problem with it. Staff and the applicant met with Oncor who stated that these utilities may not be undergrounded in this area. What the applicant's only recourse is to come before the Planning & Zoning Commission and ask to be allowed to leave above ground utilities in this corner. Mr. Miller advised the Commission that the applicant and Staff were present and available for questions.

Vice-Chairman Welch asked the applicant to come forward.

Jim Ziegler
6205 Wichita Trail
Flower Mound, TX 75022

Mr. Ziegler came forward and provided additional details in regards to his request.

Commissioner Womble asked what the long term plan was and if the applicant exhausted all efforts to find another solution.

Commissioner Conway made a motion to approve item MIS2020-017. Commissioner Womble seconded the motion which passed by a vote of 4-0.

VI. DISCUSSION ITEMS

7. Z2020-041 (RYAN MILLER)

Hold a public hearing to discuss and consider approval of a *Text Amendment* to Subsection 06.15, *Lake Ray Hubbard Takeline Overlay* (TL OV) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] for the purpose of amending the requirements for land use and development within the *Lake Ray Hubbard Takeline*, and take any action necessary.

Planning and Zoning Director Ryan Miller provided a brief summary in regards to the request. Mr. Miller explained that there was a work session held with City Council in which they, at the direction of Mayor Pruitt, requested that Staff review the Takeline. Specifically, the task was to provide clear requirements with regards to the land uses, building materials, and construction standards currently permitted in the Takeline. Also, Staff was tasked to provide incentives for more property owners to take advantage of leasing the Takeline properties. Another thing Staff did was take properties who have larger amounts of Takeline and changed the way that those are measured to allow structures to be put down closer to the boat docks. Staff also reduced the cost of Takeline ordinances for both people seeking new leases from \$600 to \$200 as well as the annual renewal of a lease from \$350 to \$100. Standards for sea walls and erosion control of the shoreline were also added to the ordinance. Mr. Miller then advised the Commission that this item will come back for action at the next meeting and that he was available for questions.

Vice-Chairman Welch if this had any impact on existing property owners who lease the Takeline already.

Vice-Chairman Welch indicated that the case will come back to the Commission on December 8, 2020 for discussion or action.

8. Z2020-048 (HENRY LEE)

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

Planner Henry Lee provided a brief summary in regards to the request and advised that his applicant was present.

Vice-Chairman Welch asked the applicant to come forward.

Brenda Kennedy
1630 Shores Blvd.
Rockwall, TX 75087

The applicant came forward and provided additional details in regards to the request.

Vice-Chairman Welch indicated that the case will come back to the Commission on December 8, 2020 for discussion or action.

9. **Z2020-049 (HENRY LEE)**

Hold a public hearing to discuss and consider a request Sam Hernandez for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.2342-acre parcel of land identified as Lot 48 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 304 E. Bourn Street, and take any action necessary.

Planner Henry Lee advised that the applicant was present.

Vice-Chairman Welch asked the applicant to come forward.

Sam Hernandez & Vanessa Hernandez.
6914 Field Lark Rd
Arlington, TX 76002

The applicant came forward and provided a brief summary in regards to this request.

Commissioner Womble asked why the applicant could not meet the requirement without redesigning. Mr. Miller added that that will not solve the problem because it's measured from the front façade.

Commissioner Moeller asked if there was another lot next to it and if it was developable.

Commissioner Conway asked if there was room for a large two story house on the lot.

Planner Henry Lee added that they are proposing to do ethos or stucco on their building elevations.

Vice-Chairman Welch indicated that the case will come back to the Commission on December 8, 2020 for discussion or action.

10. **Z2020-050 (HENRY LEE)**

Hold a public hearing to discuss and consider a request Perry Bowen on behalf of Kyle Bryan for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.

Vice-Chairman Welch asked the applicant to come forward.

Perry Bowen
230 Myers Rd
Heath, TX 75032

The applicant came forward and provided a brief summary in regards to the request.

Planner Henry Lee added that this request would also require a variance for the garage setback.

Vice-Chairman Welch indicated that the case will come back to the Commission on December 8, 2020 for discussion or action.

11. **Z2020-051 (HENRY LEE)**

Hold a public hearing to discuss and consider a request Travis Redden for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary.

Vice-Chairman Welch asked the applicant to come forward.

Travis Redden
1115 Concan Drive
Forney, TX 75126

The applicant came forward and provided a brief summary in regards to the request.

Planner Henry Lee added that Staff found during the housing analysis that most of the homes were brick or stone entirely with the exception of one home. The proposed home would consist of brick and siding.

Vice-Chairman Welch indicated that the case will come back to the Commission on December 8, 2020 for discussion or action.

12. **Z2020-052 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Thomas Jones of Tomden Engineering, LLP on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5651 SH-276, and take any action necessary.

Vice- Chairman Welch asked the applicant to come forward.

Tom Jones
5815 Meadowcrest Drive
Dallas, TX 75230

The applicant came forward and provided a brief summary in regards to the request.

Vice-Chairman Welch indicated that the case will come back to the Commission on December 8, 2020 for discussion or action.

13. **Z2020-053 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by David Meinhardt of Meinhardt & Associates, PLLC on behalf of Ed Burke of Channell Commercial Corporation for the approval of a Zoning Change from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and take any action necessary.

Planning and Zoning Director Ryan Miller advised that his applicant was present. He reminded the Commission that this is an existing facility at the corner of John King and Justin Road.

Vice-Chairman Welch asked the applicant to come forward.

Bill Channell
1700 Justin Road
Rockwall, TX 75087

The applicant came forward and provided a brief summary in regards to the request.

Mr. Miller that there will be an amphitheater that will be visible from John King. It will encroach into those areas with a wall structure but it won't change the existing appearance of the building. The new building will also be visible from John King but will face onto Justin Road. The applicant will also be adding some sale canopies in the parking areas.

Vice-Chairman Welch indicated that the case will come back to the Commission on December 8, 2020 for discussion or action.

14. **Z2020-054 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Corky Belanger for the approval of a Specific Use Permit from an accessory structure on a 0.161-acre parcel of land identified as Lot 9, Block C, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and take any action necessary.

Vice-Chairman asked the applicant to come forward.

Corky Belanger
707 Parks Avenue
Rockwall, TX 75087

The applicant came forward and provided a brief summary in regards to his request.

Planner Henry lee added that the proposed accessory structure is nearly 50% of the primary structure.

Mr. Miller asked if Mr. Belanger was adhering to both of the setbacks along the back of the property.
Commissioner Moeller asked if there were any other buildings in the back of the property.

Vice-Chairman Welch indicated that the case will come back to the Commission on December 8, 2020 for discussion or action.

261 15. **P2020-047 (DAVID GONZALES)**

262 Discuss and consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDT Rockwall 2017, LLC for the approval of a
263 Preliminary Plat for Phase 3 of the Saddle Star Subdivision consisting of 33 single-family residential lots on a 14.995-acre tract of land identified
264 as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79
265 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located
266 on the east side of John King Boulevard northeast of the intersection of John King Boulevard and Featherstone Drive, and take any action
267 necessary.
268

269 **Planning and Zoning Manager David Gonzales** advised that his applicant was present but the only reason the item was on the Discussion
270 **Items** was because it needs to go before the Parks Board. This case will come back on Consent Agenda at the next meeting. He also
271 added that the property is under Mount Zion Water, to which they need to opt out of, and hook onto City water. There also is no capacity
272 from the Stoney Hollow lift station so they'll need to do an infrastructure study for that.
273

274 **Vice-Chairman Welch** indicated that the case will come back to the Commission on December 8, 2020 for discussion or action.
275

276 16. **P2020-049 (DAVID GONZALES)**

277 Discuss and consider a request by Danielle Porten of REP Investments, LLC for the approval of a Preliminary Plat for Lots 1-6, Block A, Blackland
278 Industrial Park Addition being a 10.27-acre tract of land identified as Tract 3-04 of the A. M. Wilson Survey, Abstract No. 223, Rockwall County,
279 Texas, situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 3500 Blackland Road, and take any action necessary.
280

281 **Vice-Chairman Welch** asked the applicant's representative to come forward.
282

283 **Jeff Carroll**
284 750 E. I-30
285 Rockwall, TX 75087
286

287 The applicant's representative came forward and provided a brief summary in regards to the request.
288

289 **Vice-Chairman Welch** indicated that the case will come back to the Commission on December 8, 2020 for discussion or action.
290

291 17. **SP2020-031 (DAVID GONZALES)**

292 Discuss and consider a request by Darrel Kotzur, PE of KSA Engineers on behalf of the owner Mary Courtin of Courtin Dental for the approval of
293 a Site Plan for a daycare facility and a medial office on a 1.743-acre tract of land identified as a portion of Lot 9, Block A, Flagstone Corners
294 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 54 (PD-54) for Commercial (C) District land uses, situated
295 at the southeast corner of the intersection of E. Ralph Hall Parkway and Mims Road, and take any action necessary.
296

297 **Planning and Zoning Manager David Gonzales** provided a brief summary in regards to the request. He advised that Staff would be
298 working with the applicant in regards to the issues found by the Architectural Review Board and other site plan items associated with
299 this plan.
300

301 **Vice-Chairman Welch** indicated that the case will come back to the Commission on December 8, 2020 for discussion or action.
302

303 18. Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).
304

- 305 ✓ P2020-044: Preliminary Plat for the Saddle Star North Subdivision [APPROVED]
306 ✓ P2020-046: Preliminary Plat for Phase 2 of the Gideon Grove Subdivision [APPROVED]
307 ✓ Z2020-043: SUP for Mini-Warehouse at 1245 SH-276 [APPROVED; 1st READING]
308 ✓ Z2020-044: SUP for Residential Infill in an Established Subdivision at 102 Thistle Place [APPROVED; 1st READING]
309 ✓ Z2020-045: Zoning Change for Nelson Lake Estates [DENIED]
310

311 **Planning and Zoning Director Ryan Miller** provided a brief update about the outcome of the above referenced cases at the City Council
312 meeting.
313

314 VII. ADJOURNMENT
315

316 **Vice-Chairman Welch** adjourned the meeting at 6:59 PM.
317

318 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this
319 _____ day of _____, 2020.
320
321

322 Attest:
323

324 _____
325 Angelica Gamez, Planning and Zoning Coordinator
326

Eric Chodun, Chairman



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: December 8, 2020
APPLICANT: Pat Atkins; *KPA Consulting*
CASE NUMBER: P2020-047; *Preliminary Plat for Phase 3 of the Saddle Star Estates South Subdivision*

SUMMARY

Discuss and consider a request by Pat Atkins of KPA Consulting on behalf of Pat Atkins of CDT Rockwall 2017, LLC for the approval of a Preliminary Plat for Phase 3 of the Saddle Star Subdivision consisting of 33 single-family residential lots on a 14.995-acre tract of land identified as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of John King Boulevard northeast of the intersection of John King Boulevard and Featherstone Drive, and take any action necessary.

PLAT INFORMATION

- ☑ The purpose of the applicant's request is to preliminary plat Phase 3 of the Saddle Star Estates South Subdivision. This phase of the subdivision is comprised of 33 single-family residential lots on a 14.995-acre tract of land, of which 2.853-acres will be reserved for open space. Phase 3 will consist of 33 *Type 'B' Lots (i.e. 80' x 125' or a minimum of 10,000 SF)*. Staff should note that Phases 1 & 2 will consist of 153 *Type 'A' Lots (i.e. 70' x 125' or a minimum of 8,750 SF)*. In addition to the preliminary plat, the applicant has also submitted a preliminary utility plan indicating the proposed locations for the water and sanitary sewer lines, and the proposed fire hydrants and sanitary sewer manholes. The applicant will be required to submit a preliminary landscape and treescape plan along with the PD Site Plan, and this has been added to the conditions of approval for this case. The following is the proposed lot composition of Phase 3 of the Saddle Star Estates South Subdivision:

<i>Lot Type</i>	<i>Minimum Lot Size (FT)</i>	<i>Minimum Lot Size (SF)</i>	<i>Dwelling Units (#)</i>	<i>Dwelling Units (%)</i>
<i>A</i>	<i>70' x 125'</i>	<i>8,750 SF</i>	<i>153</i>	<i>78.44%</i>
<i>B</i>	<i>80' x 125'</i>	<i>10,000 SF</i>	<i>33</i>	<i>21.56%</i>
			<i>186</i>	<i>100%</i>

- ☑ On January 22, 2019, the City Council approved *Ordinance No. 19-07 [Case No.A2018-004]* voluntarily annexing of the subject property. The purpose of this annexation was to incorporate it into Planned Development District 79 (PD-79). On September 13, 2019, the applicant submitted an application requesting to amend PD-79 [*Ordinance No. 16-39*] for the purpose of amending the development standards and concept plan and incorporating the additional 14.995-acre tract of land into the existing 55.413-acre tract of land to create an additional phase (*i.e. Phase III*) of the Saddle Star Estates Subdivision. This amendment increased the total acreage of the subdivision to 70.408-acres.
- ☑ On December 1, 2020, the Parks and Recreation Board reviewed the preliminary plat and made the following recommendations concerning the proposed subdivision:
- (1) The developer shall pay pro-rata equipment fees of \$30,723.00 (*i.e. \$931.00 x 33 lots*), which will be due at the time of final plat.
 - (2) The developer shall pay cash-in-lieu of land fees of \$32,472.00 (*i.e. \$984.00 x 33 lots*), which will be due at the time of final plat.

- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the preliminary plat for *Phase 3 of the Saddle Star Estates South Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans;
- (2) A landscape and treescape plans shall be submitted and approved along with the PD Site Plan;
- (3) The development shall adhere to the recommendations of the Parks and Recreation Board; and
- (4) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
☒ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
☐ Final Plat (\$300.00 + \$20.00 Acre)¹
☐ Replat (\$300.00 + \$20.00 Acre)¹
☐ Amending or Minor Plat (\$150.00)
☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
☐ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
☐ Variance Request (\$100.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 3076 Hays Ln.

Subdivision Saddle Star South Phase 3

Lot _____

Block _____

General Location East of John Lewis & South of RM 552

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Planned Development 70

Current Use UNDEVELOPED

Proposed Zoning _____

Proposed Use _____

Acreage 14.995

Lots [Current] 33

Lots [Proposed] _____

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner CDT Rockwall 2017

☐ Applicant KPA CONSULTING INC

Contact Person PAT ATKINS

Contact Person PAT ATKINS

Address 3076 Hays Ln.

Address 3076 Hays Ln.

City, State & Zip Rockwall, Texas 75087

City, State & Zip Rockwall TX 75087

Phone 972-388-6383

Phone 972-388-6383

E-Mail KPATATKINS@KPA.COM

E-Mail KPATATKINS@KPA.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared PAT ATKINS [Owner] the undersigned, who stated the information on this application to be true and certified the following:

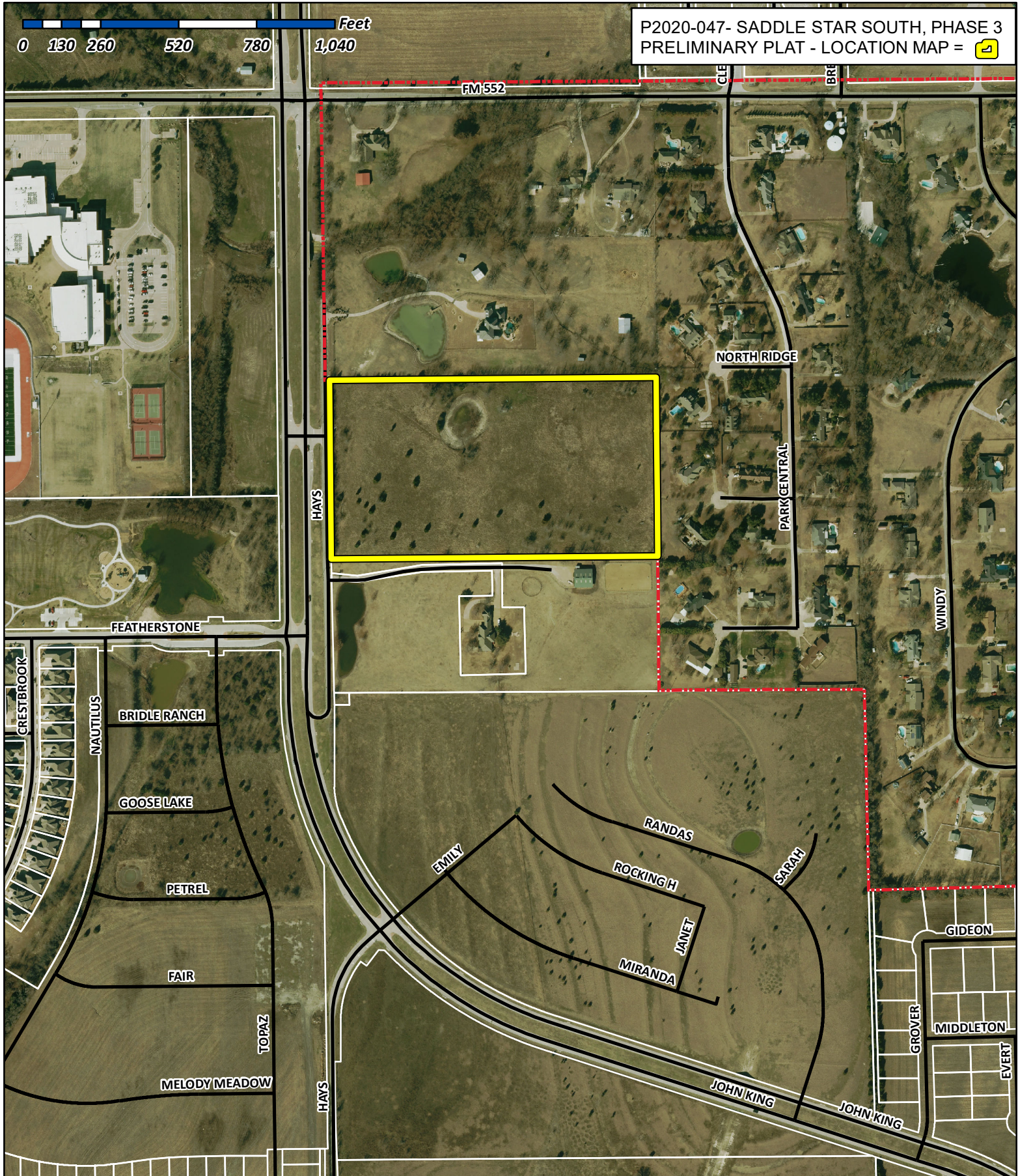
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 13th day of November, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13th day of November, 20 20.

Owner's Signature _____

Notary Public in and for the State of Texas

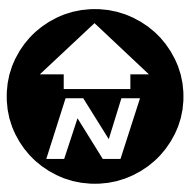




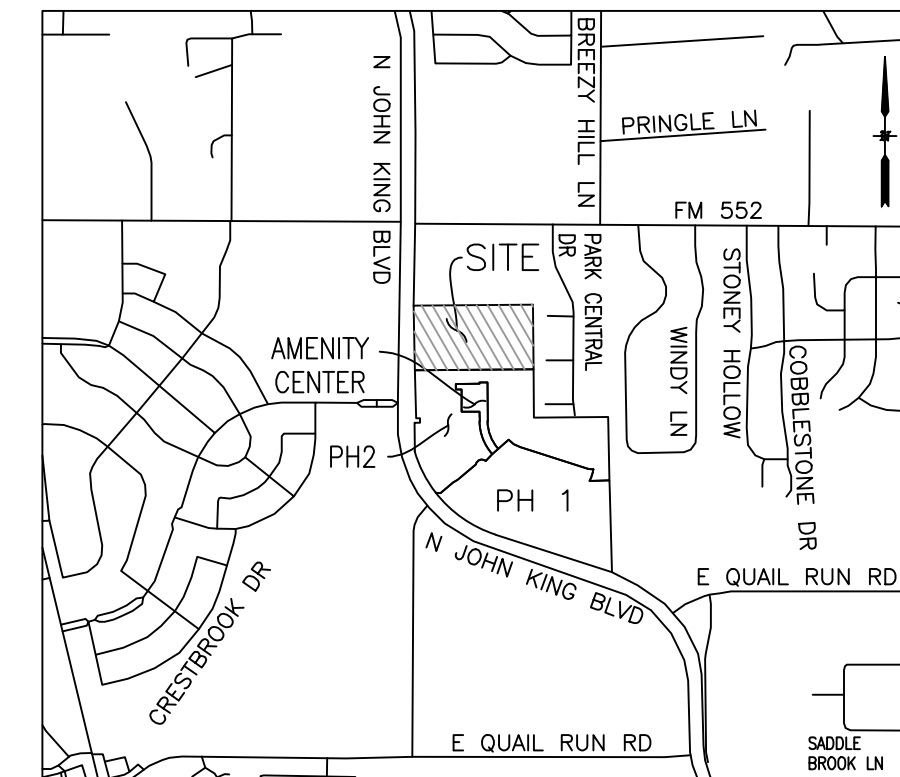
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

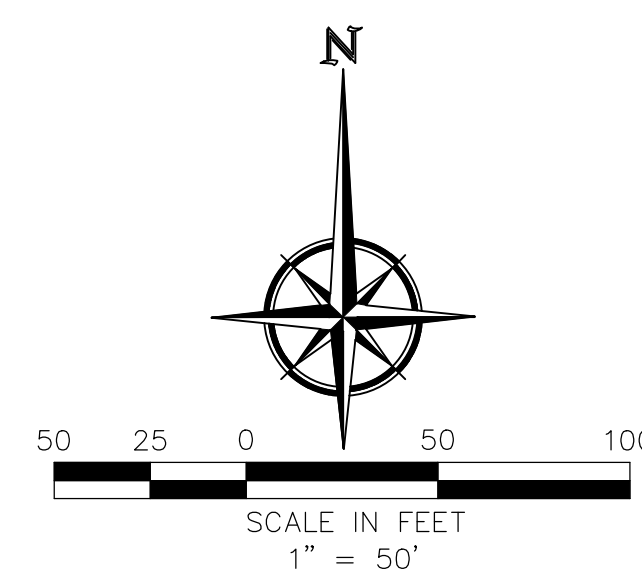
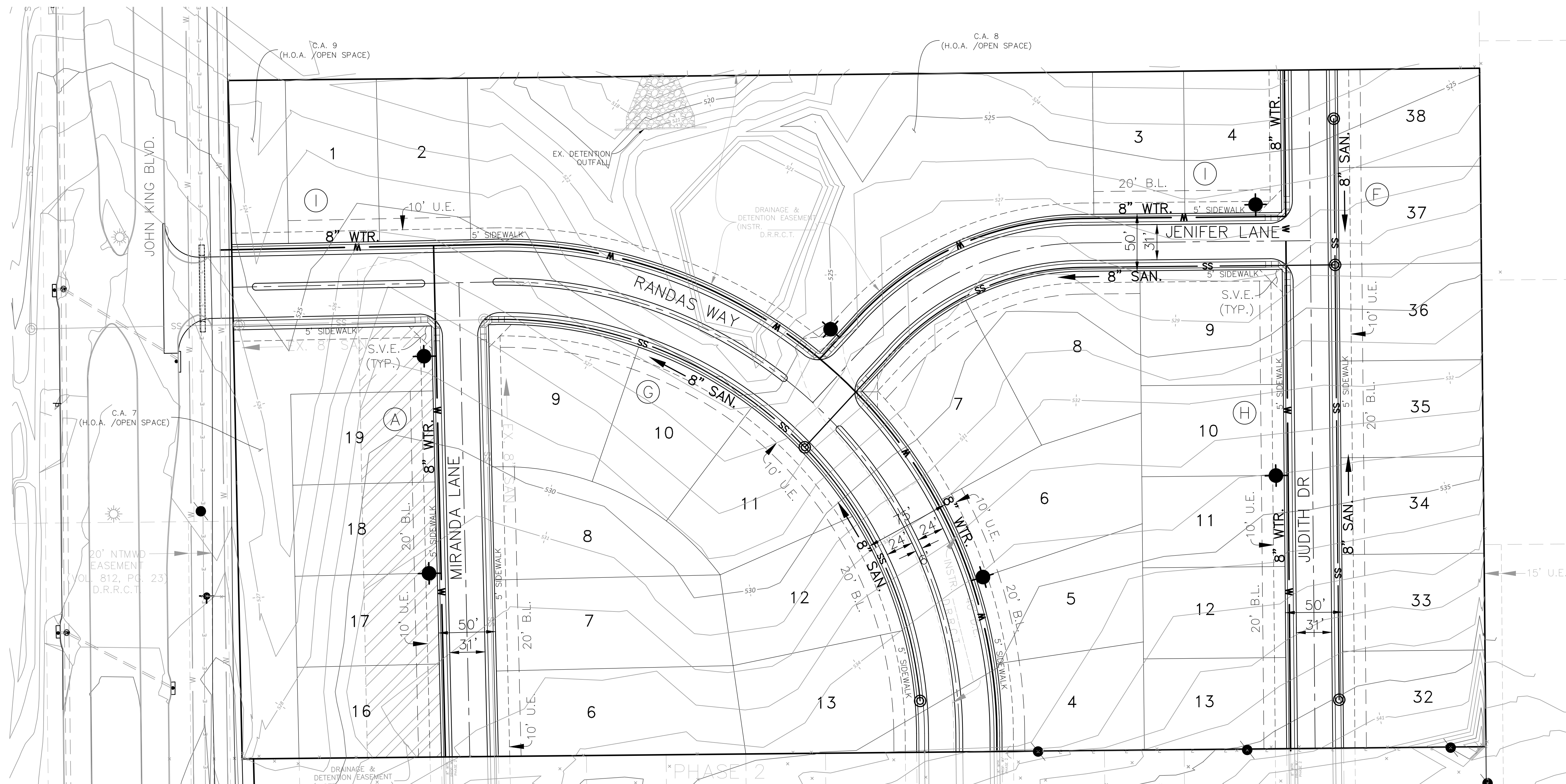






VICINITY MAP
N.T.S.

LEGEND	
	PROPOSED WATER LINE
	PROPOSED SANITARY LINE
	R.O.W. CENTER LINE
	R.O.W. LINE
	PROP. FIRE HYDRANT
	PROP. SANITARY MANHOLE



ZONING DISTRICT: PD
OPEN SPACE = 2.853 AC.
33 DWELLING UNITS
2.20 UNITS PER ACRE

OWNERS
CDT ROCKWALL/2017, LLC
6925 FM 2515
KAUFMAN, TX 75142

DEVELOPER
HINES
2200 ROSS AVE., SUITE 4200W
DALLAS, TX 75201
(214) 716-2900

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmsurveying@gmail.com
FIRM NO. 10192300 JOB NO. 355

DATE: 11/12/2020

CASE #: P2020-_____

SHEET 1 OF 1

PRELIMINARY UTILITY PLAN
**SADDLE STAR
ESTATES SOUTH
PHASE THREE**

33 SINGLE FAMILY LOTS
3 COMMON AREA TRACT
14.995 ACRES
SITUATED IN THE
P.B. HARRISON SURVEY, A-97
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLIE, TX 75098
(972) 941-8400 FAX (972) 941-8401



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: December 8, 2020

SUBJECT: Z2020-041; *Subsection 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC)*

On November 2, 2020, staff held a work session with the City Council to discuss proposed changes to Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC)* [i.e. the *takeline ordinance*] and the City's *Raw Water Policy*. These changes were prepared at the request of Mayor Pruitt, who asked staff to review the ordinance and bring changes that would: [1] provide clearer requirements with regard to the land uses, building materials, and construction standards permitted within the *takeline*, and [2] provide incentive for more property owners to pursue *takeline* leases. Based on the changes proposed at the work session, the City Council directed staff to proceed with adopting the amendment into the Unified Development Code (UDC).

A summary of the proposed changes to the *takeline ordinance* is provided on the front of the proposed amendment under the *Change Log* heading and which is included in the attached packet; however, this amendment is basically a complete overhaul of the language currently contained in this section of the Unified Development Code (UDC). Some of the major changes are summarized as follows:

- (1) The way in which the visual measurement for view corridors is currently being calculated was changed to allow a larger buildable area for lots with longer linear frontages of shoreline. Currently, the view corridor is calculated from a projection that starts at a central point in the adjacent property owner's rear yard, and projects outward into the takeline at a 36-degree angle. The proposed amendment changes this calculation to a defined point in the center of the takeline -- *at the quarter point* --, and projects this point back to the corners of the subject property. The advantages of this projection system are that it is easier for property owners and staff to calculate quickly, and it yields similar results as the previous projection calculation. For lots with over 100-feet of takeline frontage, this point starts 30-feet from the side yard of the takeline area and then projects back to the corner of the subject property. By doing this, the buildable area on these larger lots is increased in the *435.5-Elevation Zone*, and this allows the property owners leasing these areas the ability to construct certain structures in the center of the takeline area closer to the water's edge.
- (2) New language addressing *Residential Sublease Agreements* and the costs of these agreements were added. Staff should also point out that the fees for these agreements were reduced as follows:

Lease	Current Fees	Proposed Fees
New Lease (i.e. Never Leased by Current Owner)	\$600.00	\$200.00
Annual Renewal of a Lease	\$350.00	\$100.00
Change of Ownership of a Valid Lease	\$350.00	\$50.00
Reinstatement of an Expired Lease (i.e. Same Property Owner)	\$600.00	\$500.00

The purpose of this reduction is to incentivize more property owners to pursue *Residential Sublease Agreements*. In addition, all of the permitted land uses (*with the exception of municipal utilities*) now require the property owner to have a valid *Residential Sublease Agreement*.

- (3) Sea walls were added to the permitted land uses section of the ordinance. In addition, certain land uses now would require the construction of a sea wall prior to their establishment.

Attached to the memorandum is a copy of the proposed changes to the *takeline ordinance* and a draft ordinance. In accordance, with Section 02.04(B) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. The schedule for this text amendment is as follows:

~~Planning and Zoning Commission Work Session: November 24, 2020~~

Planning and Zoning Commission Public Hearing: December 8, 2020

City Council Public Hearing/1st Reading: December 21, 2020

City Council 2nd Reading: January 4, 2021

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions, staff will be available at the meeting on December 8, 2020.

STRUCTURE OF ORDINANCE CHANGE

(1) SUBSECTION 06.15: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT

- (A) PURPOSE
- (B) BOUNDARIES
- (C) APPLICABILITY
- (D) DEFINITIONS
- (E) VISUAL MEASUREMENTS FOR VIEW CORRIDORS
- (F) GENERAL REQUIREMENTS
- (G) RESIDENTIAL SUBLEASE
- (H) PERMITTED USES
- (I) SPECIFIC USE PERMITS (SUPS)
- (J) SPECIFICATIONS FOR PERMITTED LAND USES
 - (1) BARBECUE PIT
 - (2) BOATHOUSE
 - (3) COVERED PATIO
 - (4) DECK
 - (5) DOCK DECK
 - (6) FENCE
 - (7) FLAGPOLE
 - (8) FIXED PIER
 - (9) FIRE PIT
 - (10) GAZEBO
 - (11) LANDING AND STAIRS
 - (12) LANDSCAPING AND RETAINING WALLS
 - (13) MUNICIPAL UTILITIES
 - (14) OUTDOOR LIGHTING
 - (15) PATIO
 - (16) PERGOLA
 - (17) PICNIC TABLE
 - (18) PRIVATE PLAY STRUCTURE
 - (19) PRIVATE UTILITIES
 - (20) PRIVATE WALKWAYS
 - (21) SEAWALL
 - (22) SPRINKLER/IRRIGATION SYSTEM

(2) SUBSECTION 07.05: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT DEVELOPMENT STANDARDS

CHANGE LOG

- (1) BROKE OUT EACH LAND USE AND STANDARDIZED THE SECTIONS.
- (2) ADDED FIRE PIT AND PICNIC TABLE AND BROKE OUT COVERED PATIO, DECK, PERGOLA, PATIO AND GAZEBO OUT INTO THEIR OWN SECTIONS.
- (3) CHANGED THE MATERIAL REQUIREMENTS FOR ALL STRUCTURES LOCATED IN THE 435.5 & 425.5 ELEVATION ZONES TO ALLOWING ONLY COMPOSITE MATERIALS OR METAL.
- (4) CHANGED THE WAY THE VIEW CORRIDORS WERE CALCULATED AND GAVE A GREATER ALLOWANCE TO PROPERTIES THAT HAVE A MINIMUM OF 100-FEET OF SHORELINE FRONTAGE.
- (5) REQUIRED COVERED PATIOS TO HAVE A CLERESTORY OR CUPOLA.
- (6) LIMITED MATERIALS SO THAT CLOTH, CANVAS, OR LIKE MATERIALS WERE NOT PERMITTED.
- (7) CHANGED THE SUP REQUIREMENT TO GIVE THE CITY COUNCIL GREATER AUTHORITY IN ALLOWING LAND USES AND STRUCTURES IN THE TAKELINE AREA.
- (8) DEFINED WHERE AND WHEN TREES CAN BE PLANTED OR REMOVED.
- (9) LIMITED THE NUMBER OF STRUCTURES PERMITTED IN EACH ZONE.
- (10) ADDED EXAMPLE IMAGES OF ALL PERMITTED LAND USES.
- (11) CHANGED LOCATIONAL REQUIREMENTS FOR STRUCTURES IN THE 435.5 ELEVATION ZONE AND BOAT RELATED STRUCTURES.
- (12) CREATED AN ADMINISTRATIVE EXCEPTION FOR PLACEMENT OF STRUCTURES
- (13) INSERTED A TAKELINE LEASE SECTION THAT OUTLINES THE TAKELINE LEASE FEES.
- (14) REDUCED THE TAKELINE LEASE FEES TO MORE REASONABLE COSTS.
- (15) REQUIRED A SEAWALL FOR CERTAIN STRUCTURES IN CERTAIN ELEVATION ZONES.
- (16) CREATED A SUMMARY CHART FOR PERMITTED LAND USES.
- (17) ADDED AN IMAGE OF AND USE FOR A SEA WALL.

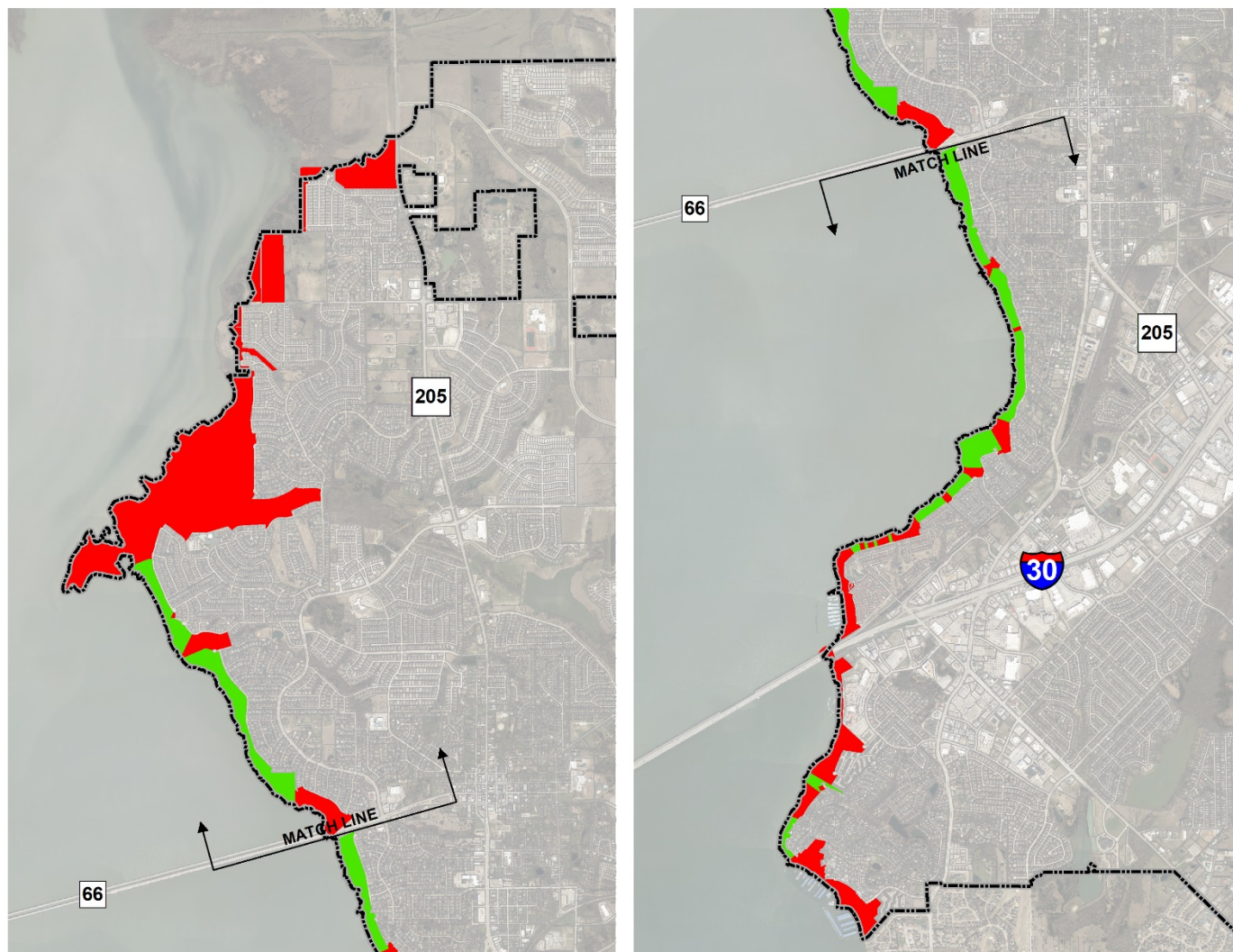
NOTES

- (1) I SPOKE WITH THE CITY ATTORNEY ABOUT THE CURRENT ORDINANCE'S LIMITATION ON ONLY ALLOWING THE UNITED STATES FLAG AND THE TEXAS FLAG TO BE FLOWN IN THE TAKELINE AREA. THIS REQUIREMENT IS APPARENTLY NOT ENFORCEABLE; HOWEVER, I LEFT IT IN THE ORDINANCE CHANGE AND AS LONG AS WE DON'T TRY TO ENFORCE IT WE SHOULD BE OK. I SHOULD ALSO NOTE THAT THE CITY OF HEATH ALSO HAS THIS REQUIREMENT IN THEIR TAKELINE ORDINANCE.
- (2) AFTER REVIEW OF THE CURRENT INTERLOCAL AGREEMENT WITH THE CITY OF DALLAS, NOTHING CONTAINED IN THIS ORDINANCE CHANGE WOULD VIOLATE THAT AGREEMENT OR IS EXPRESSLY PROHIBITED IN THAT AGREEMENT. THE CITY COUNCIL SHOULD BE ABLE TO ADOPT THIS ORDINANCE CHANGE WITHOUT THEIR REVIEW; HOWEVER, AFTER ADOPTION IT MAY BE PRUDENT TO ALLOW THEM TO REVIEW THE CHANGES.

SUBSECTION 06.15: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT

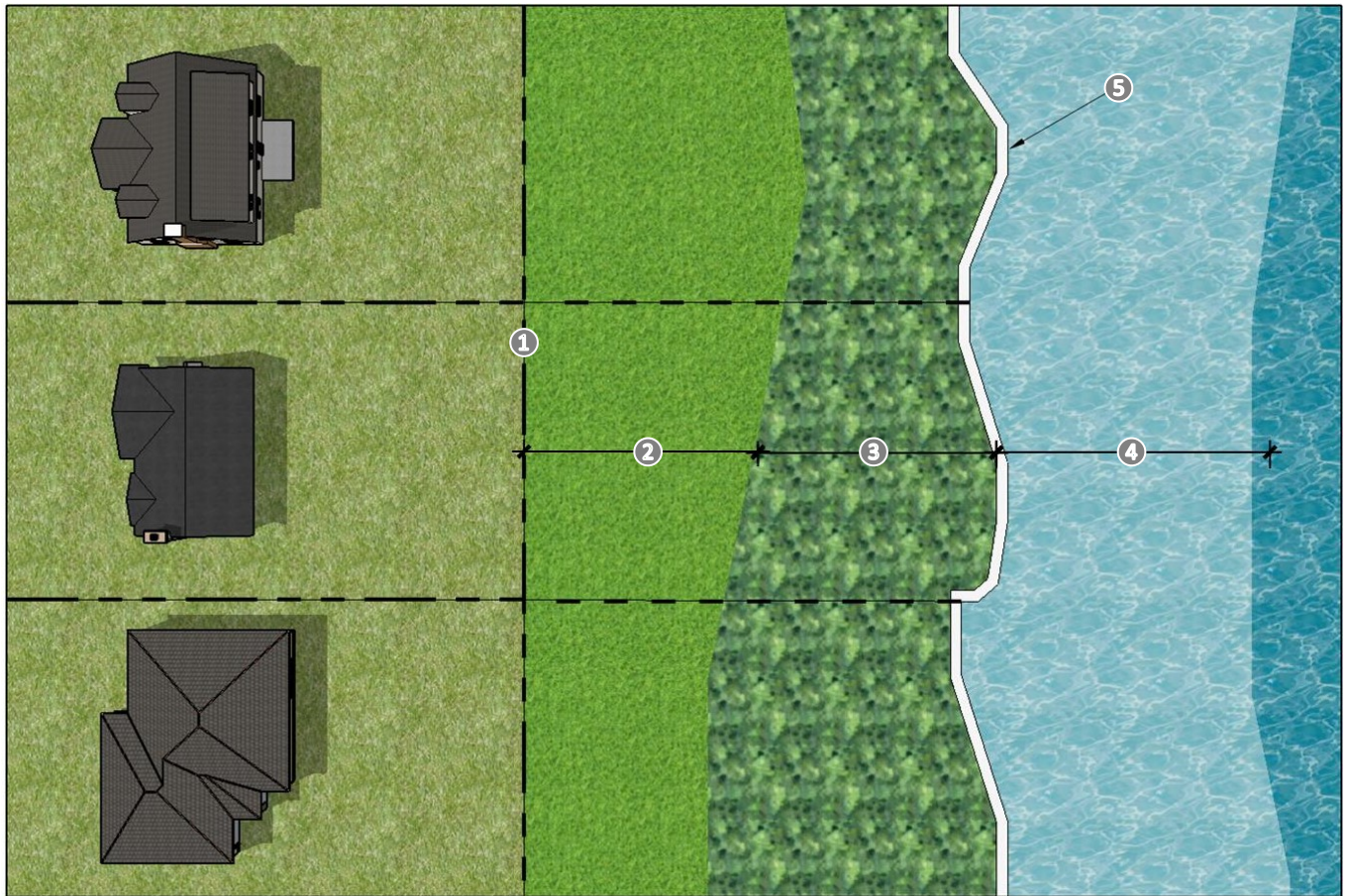
- (A) Purpose. The purpose of the *Lake Ray Hubbard Takeline Overlay (TL OV) District* is to permit the development of property along the shoreline of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth the procedures for the development of said property, and establishing an appeal process for the development standards of the district. This zoning district has its basis in and is intended serve as an implementation tool for the Lake Ray Hubbard Master Plan (*adopted by the City of Dallas*), the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the *Lake Cities Coalition* (i.e. *Garland, Rockwall, and Rowlett*) and the City of Dallas, and the OURHometown Vision 2040 Comprehensive Plan. The adoption of this zoning district is intended to provide a means for the protection of water quality
- (B) Boundaries. The Lake Ray Hubbard Takeline (TL OV) District includes all property that is located between the City of Dallas *Takeline* as shown on the boundary map for Lake Ray Hubbard (i.e. *File 612D-1 on file in the City of Dallas Records Vault and depicted below in Figure 26, Lake Ray Hubbard Takeline [TL OV] District Map*) and the meandering of the contour line 435.5-foot sea level elevation. In addition, *Figure 27: Elevation Contours*, shows the elevation zones used to delineate where certain land uses are permitted.

FIGURE 26: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT MAP



RED: NON-LEASEABLE PROPERTY; GREEN: LEASABLE PROPERTY

FIGURE 27: ELEVATION CONTOUR ZONES



①: REAR PROPERTY LINE/TAKE LINE; ②: 438.0 ELEVATION ZONE; ③: 435.5 ELEVATION ZONE; ④: 425.5 ELEVATION ZONE; ⑤: SEAWALL;

(C) Applicability.

(1) Applicable Lots. The standards set forth within Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, shall apply only to those lots within the takeline that are zoned and used for detached, single-family residential land uses, and that either have a minimum lot width of 45-feet when measured at the front building line or a minimum width of 35-feet at the front building line when located on a curved street or cul-de-sac that are eligible to lease. The properties eligible to lease the takeline area are depicted in [Figure 26: Lake Ray Hubbard Takeline Overlay \(TL OV\) District Map](#) above.

(2) Exceptions for Lots Not Meeting the Applicability Standards. The City Council shall have the authority to consider special exceptions to the eligibility standards set forth within this section that apply to those lots within the Lake Ray Hubbard Takeline Overlay (TL OV) District that are zoned and used for detached, attached, or zero-lot-line single-family residential land uses and meet the minimum lot width requirements as prescribed in [Subsection 06.15\(B\)\(1\)](#) above.

(D) Definitions. The terms used in this section shall be as defined in this Unified Development Code (UDC), the Lake Ray Hubbard Interlocal Agreement, and the sublease agreements prepared by the City of Rockwall. For specific land use definitions refer to [Subsection \(J\), Specifications for Permitted Land Uses](#). In addition, the following terms shall be defined as follows:

(1) Catwalk. The narrow walkway of a dock providing people access to moored watercraft.

(2) Centerline. An established line that is equidistant from the surface or sides of something (e.g. *parcel boundaries*).

(3) Cleat. A metal fitting with two (2) projecting pieces used to wrap a rope around to secure a watercraft in position.

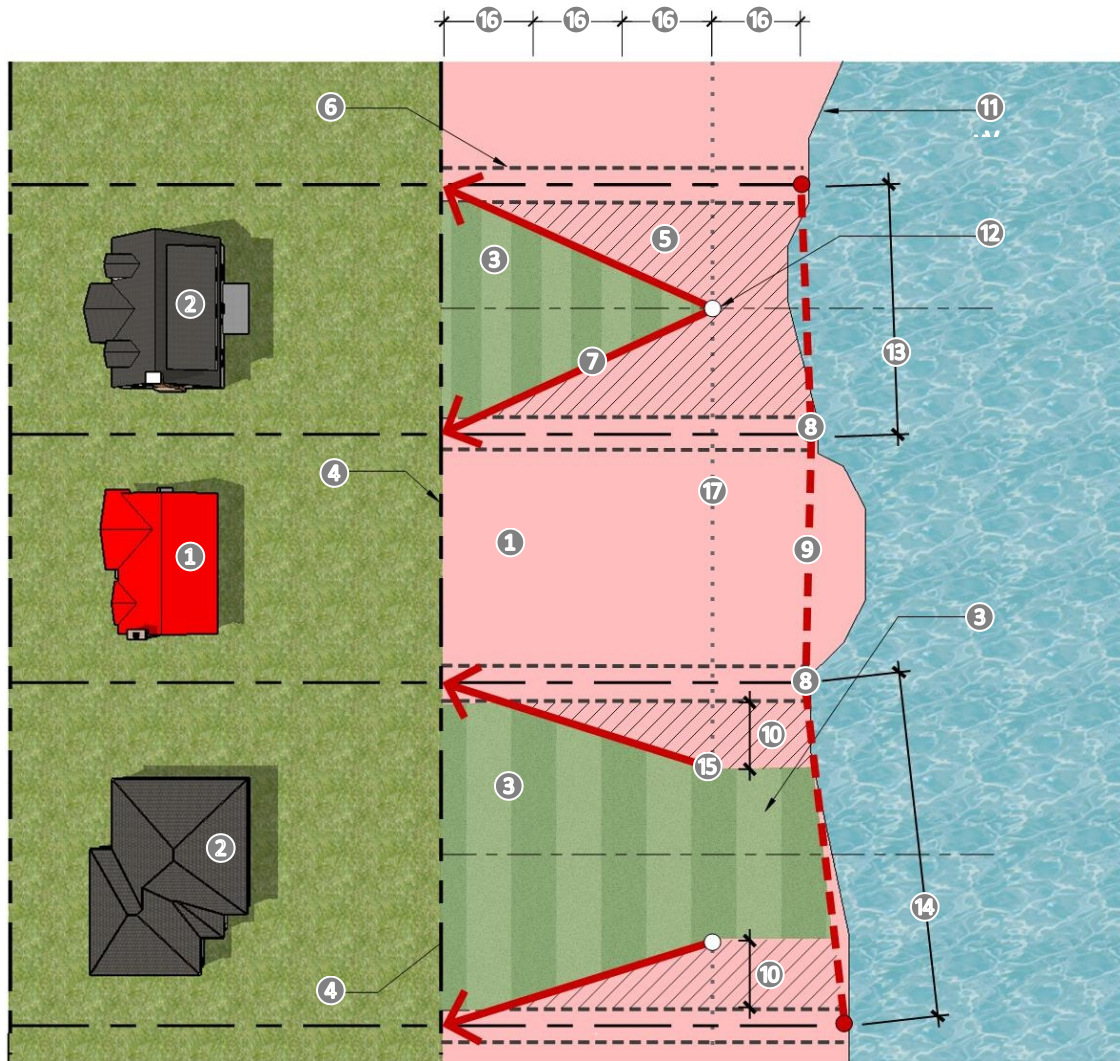
(4) Dredging. The process of deepening a waterway for the safe and efficient movement of watercraft by the removal of dirt either by digging or by suction.

(5) Habitable Structure. A structure fit for human habitation usually containing amenities (e.g. *fireplace, furniture, plumbing, bathing facilities, and cooking facilities*). Structures allowed by this section shall not be habitable structures and may not contain such amenities.

- (6) Lake. Refers to Lake Ray Hubbard.
 - (7) Lake Area. The City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the lake at a normal lake pool elevation (*i.e. property at or below an elevation of 435.5-feet mean sea level*).
 - (8) Leased Area. Means the take area that is within the corporate limits of the City of Rockwall, or where the takeline is directly adjacent to the corporate limits of the City of Rockwall.
 - (9) Lift. A temporary means of elevating a watercraft out of the water by use of a hoist.
 - (10) Locker Box. A secured chest fixed onto a dock used for storage of watercraft equipment.
 - (11) Moor. Securing a watercraft to a fixed object such as a fixed cleat on a seawall while the watercraft is still in the water.
 - (12) Mooring. A place where a watercraft can be tied up and secured while in the water (*e.g. a slip*) for not more than 156-consecutive hours.
 - (13) Power Source Station. Used as a power supply for lighting a dock just below watercraft level.
 - (14) Shoreline. Refers to the line along the shore of the lake, established by the normal lake pool elevations (*i.e. 435.5-feet mean sea level*).
 - (15) Slip. A watercraft's berth between two (2) piers or between finger piers.
 - (16) Take or Takeline Area. Refers to the land owned by Dallas between the takeline and the normal lake pool elevations (*i.e. 435.5-feet mean sea level*).
 - (17) Treated Wood. Wood treated by the impregnation or application of chemical solutions or chemical mixtures for the purpose of retarding or preventing deterioration or destruction cause by insects, fungi, bacteria, or other wood destroying organisms.
 - (18) View Clear Zone. The area within the view preservation angle where no new structures or plantings shall exceed six (6) feet above the existing grade to maintain neighboring views.
 - (19) View Corridor. A sight passage recognized as holding an intangible asset for a property owner and for a community due to the unique visual qualities of distant terrain, woodlands, wetlands, grasslands, skylines, and manmade lakes expressed through a view preservation angle from either a generally recognized center point or various center points along a road corridor or public view area (see [Figure Subsection \(E\): Visual Measurements for View Corridors](#)).
 - (20) View Preservation Angle. The angle determined as the line extending from the center point -- or 30-foot point depending on lot size -- along the quarter distance line of the leased area extending back toward the opposite corner where the takeline area crosses the lease area's side yard (see [Figure 28: Visual Measurements for View Corridors](#)).
 - (21) Watercraft (or Boat). A craft for water transport. Examples of watercrafts are as follows:
 - (a) Motorized Boat. A boat propelled by an internal combustion engine.
 - (b) Sail Boat. A boat with a mast and sail propelled by the wind.
- (E) Visual Measurements for View Corridors.
- (1) View Corridors. View clear zones are established to protect a property owner's views of the lake and to maintain the aesthetic value of the lake's shoreline. The view clear zones for the takeline areas are established by the shoreline frontage of the takeline lease area. This measurement is determined by projecting the lease areas side yards to the normal pool elevation (*i.e. 435.5-feet mean sea level*), and connecting these two (2) points in a straight line (see [Figure 28: Visual Measurements for View Corridors](#)). Based on this linear measurement, the view clear zones are determined by the following:
 - (a) Lots That Have Less Than 100-Feet of Shoreline Frontage. The view corridor for lots that have less than 100-feet of shoreline frontage is defined by the view preservation angle determined as the quarter distance (*i.e. 25%*) center point from the shoreline frontage line along the centerline of the leasing property owner's side yard with the angle running from the quarter distance center point to the opposite corners where the takeline area crosses the lease area's side yard. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with [Subsection \(F\)\(2\)\(d\)](#).
 - (b) Lots That Have More 100-Feet or More Shoreline Frontage. The view corridor for lots that have 100-feet or more shoreline frontage are defined by the view preservation angle determined as the quarter distance (*i.e. 25%*) line projected from the shoreline frontage

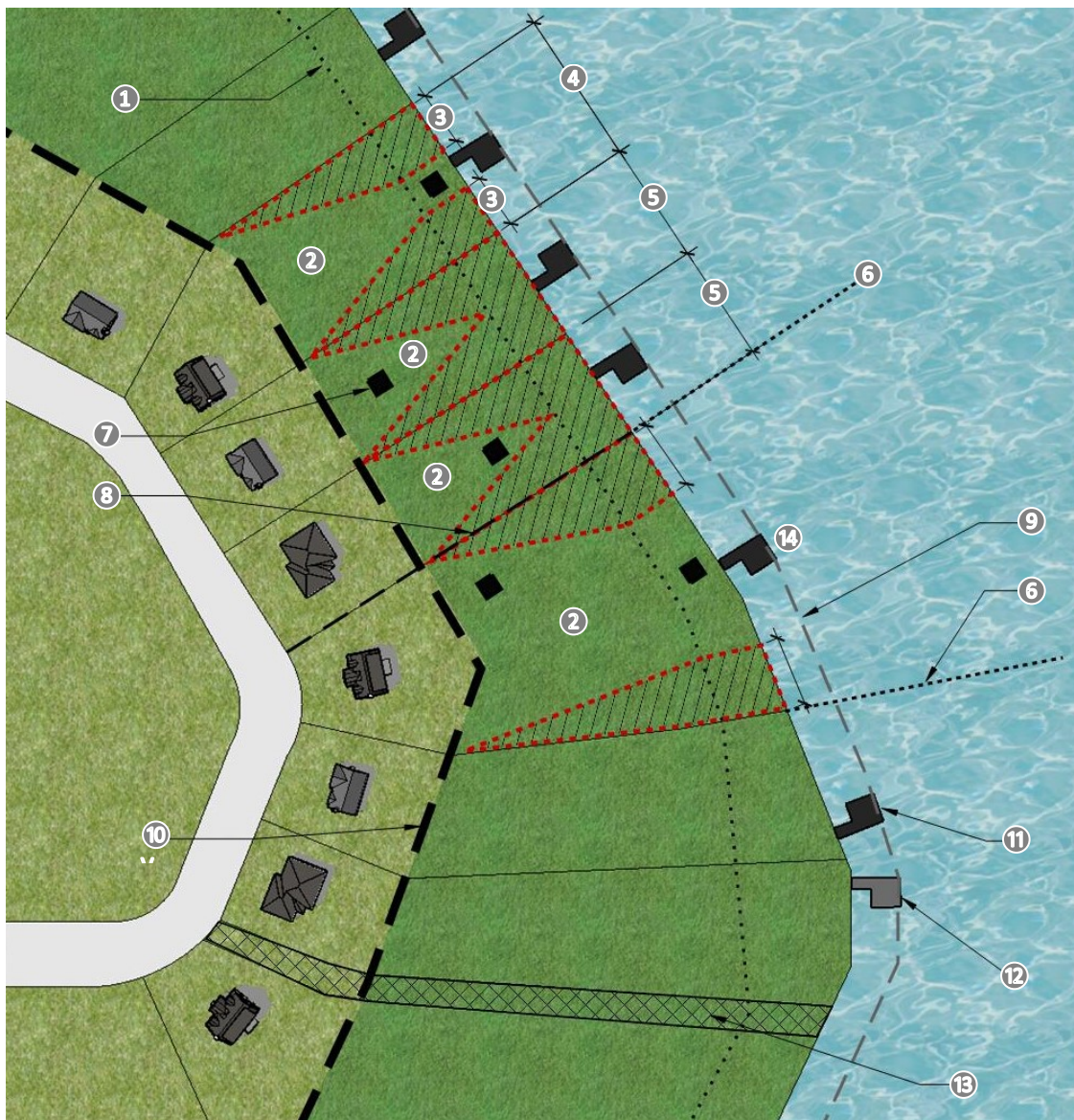
line extending from the leasing property owner's side yard 30-feet along the quarter distance line and running from this point to the opposite corners where the takeline area crosses the lease area's side yard, and in a straight line from the 30-foot point on the quarter distance line to the shoreline frontage line. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with [Subsection \(F\)\(2\)\(d\)](#).

FIGURE 28: VISUAL MEASUREMENTS FOR VIEW CORRIDORS



1: SUBJECT PROPERTY'S AND ITS VIEW CORRIDOR (PINK AREA); 2: NEIGHBORING PROPERTY; 3: NEIGHBORING PROPERTY'S BUILDABLE AREA (GREEN LINED AREA); 4: REAR PROPERTY LINE/TAKELINE; 5: VIEW CLEAR ZONE (LINED AREA); 6: LEASE AREA SIDE YARD SETBACK; 7: VIEW PRESERVATION ANGLE; 8: THE INTERSECTION OF THE 435.5 ELEVATION LINE AND THE LEASE AREA'S SIDE YARD; 9: SHORELINE FRONTAGE LINE (ESTABLISHED BY CONNECTING THE TWO [2] 8 POINTS IN A STRAIGHT LINE); 10: 30-FOOT; 11: SHORELINE; 12: CENTER POINT AT THE QUARTER DISTANCE LINE; 13: A LOT WITH A SHORELINE FRONTAGE LESS THAN 100-FEET; 14: A LOT WITH A SHORELINE FRONTAGE 100-FEET OR MORE; 15: 30-FOOT POINT ON THE QUARTER DISTANCE LINE; 16: 25% OF THE TAKELINE AREA; 17: QUARTER DISTANCE LINE.

FIGURE 29: EXAMPLES OF VISUAL MEASUREMENTS FOR VIEW CORRIDORS AND STRUCTURE PLACEMENT



1: QUARTER DISTANCE LINE; 2: BUILDABLE AREA; 3: 30-FOOT; 4: A LOT WITH A SHORELINE FRONTAGE LINE 100-FOOT OR MORE; 5: A LOT WITH A SHORELINE FRONTAGE LINE LESS THAN 100-FOOT; 6: LEASE AREA'S PROJECTED SIDE YARD; 7: STRUCTURE BUILT IN THE 438.0 ELEVATION ZONE; 8: LEASE AREA'S SIDE YARD; 9: 40-FOOT BUILDING LINE; 10: REAR PROPERTY LINE/TAKELINE; 11: EXISTING BOATHOUSE; 12: BOATHOUSE LOCATION APPROVED ADMINISTRATIVELY BECAUSE OF DRAINAGE EASEMENT AND CLUSTERED WITH AN EXISTING BOATHOUSE; 13: DRAINAGE EASEMENT; 14: BOATHOUSE AND STRUCTURE IN THE 435.5 ELEVATION ZONE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE.

(F) General Requirements. The following general requirements shall apply for all property in the takeline area.

- (1) Number of Permitted Structures. The following is the maximum number of structures that shall be permitted in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in [Subsection \(J\), Specifications for Permitted Land Uses](#) that exceeds six [6] feet in height*):
 - (a) 438.0 Elevation Zone: Two (2) structures shall be permitted in the 438.0 Elevation Zone.
 - (b) 435.5 Elevation Zone: One (1) structure shall be permitted in the 435.5 Elevation Zone.
- (2) General Location of Permitted Structures. The following requirements relate to where structures should be generally located in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in [Subsection \(J\), Specifications for Permitted Land Uses](#) that exceeds six [6] feet in height*):
 - (a) 438.0 Elevation Zone: Structures in the 438.0 Elevation Zone should be located outside of the view clear zones unless specifically permitted to be in the view clear zone by [Subsection \(J\), Specifications for Permitted Land Uses](#).

- (b) 435.5 Elevation Zone: Structures in the *435.5 Elevation Zone* should be generally centered in the lease area -- *equal distance from both leased side yard boundary lines* -- behind the primary structure on the leasing property and outside of the view clear zones unless specifically permitted to be in the view clear zone by [Subsection \(J\), Specifications for Permitted Land Uses](#).
- (c) 425.5 Elevation Zone: Structures located in the *425.5 Elevation Zone* should be generally centered along the shoreline -- *equal distance from both the leased side yard boundary lines* -- behind the primary structure of the leasing property.
- (d) Administrative Exception for the 435.5 & 425.5 Elevation Zone. In cases where it is [1] not feasible to construct a structure in the center of the lease area or along the shoreline, [2] will increase the view corridor or benefit the surrounding properties by not centering a structure in the lease area, or [3] where centering the structure will create an undue hardship to the property owner leasing the lease area, the Director of Planning and Zoning or his/her designee may approve an administrative exception to allow an alternate location that is not generally centered in the lease area as long as the location for the proposed structure is outside of the view clear zone. In approving these requests, the Director of Planning and Zoning or his/her designee shall consider the impact of the proposed structure on the adjacent property owners.
- (3) Building Materials. The permitted building materials shall be as stipulated in [Subsection \(J\), Specifications for Permitted Land Uses](#), and as permitted by the City Council through a Specific Use Permit (SUP); however, the use of canvas, cloth, or like materials shall be prohibited within the takeline area. In addition, loose ground materials (e.g. sand, fill, pea gravel) that could be used for trails, paths, play areas, active sports activities, or as exposed landscape bedding material are prohibited.
- (4) Trees. In order to plant or remove a tree in the takeline area, a *Treescape Plan* showing the exact location, size (i.e. trunk diameter and height), and common name of the tree to be planted or removed will be required to be submitted to the Parks and Recreation Department. A permit to plant or remove a tree may be approved administratively by the Director of Parks and Recreation or his/her designee, or forwarded to the Parks and Recreation Board for approval. In reviewing a request to plant or remove a tree, the following criteria shall apply:
- (a) Planting Trees. Trees are permitted to be planted within the *438.0 Elevation Zone* pending they are [1] not a variety specifically listed in the prohibited tree list contained in [Section 03, Tree Planting Guidelines and Requirements, of Appendix C, Landscaping Guidelines and Requirements](#), and [2] they are not located within the view clear zone outlined [Subsection \(E\), Visual Measurements](#). The Director of Parks and Recreation or his/her designee may grant an exception to allow a tree to be planted in the view clear zone where it is determined that the tree will not decrease the visibility of the lake or shoreline for the adjacent properties. In making this determination, the Director of Parks and Recreation shall consider the size of the proposed tree at maturity.
- (b) Removing Trees. Trees are permitted to be removed only if they are determined to be damaged or diseased, or if they create a hazardous or dangerous condition that could endanger the public health, safety or welfare of the general public.
- (5) Temporary Structures in the Takeline Area. Temporary structures (e.g. portable residential barbecue grills and ranges, trampolines, etc.) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with [Subsection 06.15\(J\)\(6\)](#).
- (G) Residential Sublease Agreement. A *Residential Sublease Agreement* is an agreement between a property owner and the City of Rockwall that grants the property owner certain rights to the exclusive use of the takeline area. A *Residential Sublease Agreement* shall be required to build certain structures within the takeline area. It shall be a violation of the zoning code to build or maintain a structure in the takeline area without a valid *Residential Sublease Agreement*. An owner in violation of this section shall be subject to the requirements of [Section 01, Penalties, of Article 12, Enforcement, of the Unified Development Code \(UDC\)](#). The following shall be the costs associated with a *Residential Sublease Agreement*:
- | Lease | Fees |
|---|----------|
| New Lease (i.e. New Never Leased by Current Owner) ² | \$200.00 |
| Annual Renewal of a Lease | \$100.00 |
| Change of Ownership of a Valid Lease | \$50.00 |
| Reinstatement of an Expired Lease (i.e. Same Property Owner) ³ | \$500.00 |
- NOTES:
- ¹: To be subject to these new fees, a lease entered into after **January 1, 2021** will be required (i.e. the effective date of the amendment adopting these fees).
- ²: A lease is considered to be new under the following circumstances: [1] the property has never had a valid lease agreement, or [2] the property had a valid lease under different ownership but that lease agreement expired prior to the current owner taking possession of the property.
- ³: A lease is considered to be a reinstatement when it lapses or expires under the current ownership, and then the same owner requests a new lease.
- (H) Permitted Uses. All of the uses permitted within the *Lake Ray Hubbard Takline Overlay (TL OV) District* shall adhere to all other applicable codes and permitting requirements of the City of Rockwall. For a list of permitted land uses see [Subsection \(J\), Specifications for Permitted Land Uses](#), or [Subsection 07.05, Lake Ray Hubbard Takeline Overlay \(TL OV\) District Development Standards](#).
- (I) Specific Use Permits (SUPs). A Specific Use Permit (SUP) may be requested for: [1] any use that is not listed in [Subsection \(J\), Specifications for Permitted Land Uses](#) or [2] any structure that does not adhere to the requirements stipulated for that use or structure as required by

Subsection (J), Specifications for Permitted Land Uses; however, a request for a Specific Use Permit (SUP) cannot be requested if a dimensional, material, size, or location standard stipulated in Subsection (J), Specifications for Permitted Land Uses, or Subsection (F), General Requirements, is expressly prohibited. In addition, no requests can be made that violate the view corridor requirements stipulated in Subsection (E), Visual Measurements. A Specific Use Permit (SUP) may be requested for water related land uses that are not specifically addressed in Subsection (J), Specifications for Permitted Land Uses, (e.g. jet ski lift) pending the applicant provides a letter of consent from the City of Dallas prior to making the application. In considering a Specific Use Permit (SUP) request, the City Council shall consider how the proposed request [1] impacts adjacent properties, and [2] adheres to the intent of the Lake Ray Hubbard Takeline Overlay (TL OV) District.

(J) Specifications for Permitted Land Uses. See Subsection 07.05, Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards, for a summary of the development standards for each of the following conditional uses.

(1) Barbecue Pit.

(a) Definition. A *barbecue pit* is a permanent fireplace structure over which meat, poultry and other foods are roasted (for *Fire Pit* see Subsection 06.15(J)(9)).

(b) Prerequisites. A *barbecue pit* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) Elevation Zone. A *barbecue pit* shall be allowed in the following zones:

(1) 438.0: Permitted.

(2) 435.5: Not Permitted.

(3) 425.5: Not Permitted.

(d) Conditional Use Standards. A *barbecue pit* can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (i.e. natural gas or propane).

(e) Construction Standards.

(1) Building Materials. A *barbecue pit* must be constructed utilizing a combination of natural stone, brick, concrete, and/or iron grating.

(2) Height. A *barbecue pit* shall not exceed a maximum of six (6) feet in height.

(3) Size. A *barbecue pit* shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a *barbecue pit* should not exceed a maximum size of eight (8) feet in length by three (3) feet in width.

(f) Setback Requirements. A *barbecue pit* must adhere to the following setbacks:

(1) Takeline Setback: 0-Feet

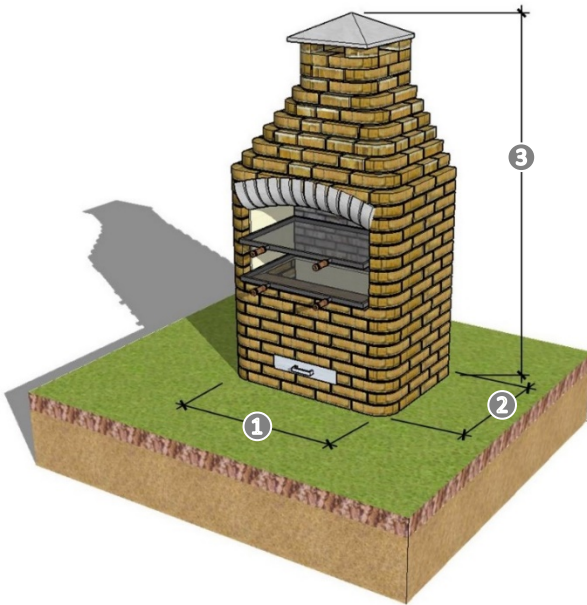
(2) Leased Side Yard Setback: 6-Feet

(g) Additional Requirements.

(1) Earth Work. Earth work required for the construction of a *barbecue pit* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) Compliance with Applicable Codes. A *barbecue pit* must comply with all other applicable City of Rockwall codes.

(h) Visual Representation.



- ❶: A MINIMUM AND MAXIMUM OF THREE (3) FEET IN LENGTH;
- ❷: A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF EIGHT (8) FEET IN WIDTH;
- ❸: A MAXIMUM OF SIX (6) FEET;

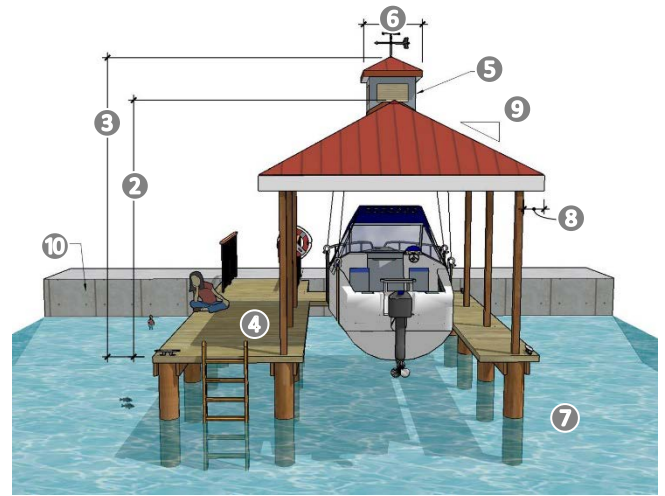
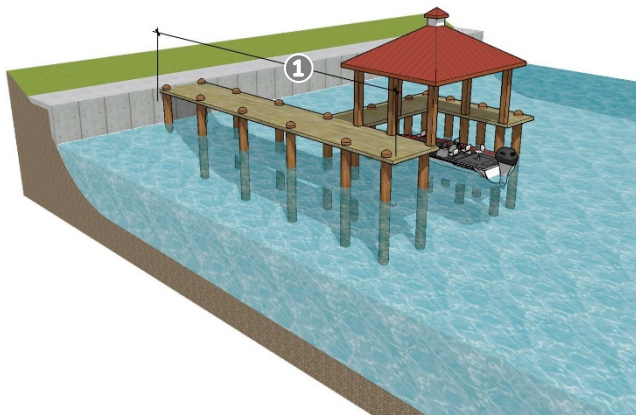
(2) Boathouse.

- (a) Definition. A *boathouse* is a roofed structure affixed to the end of an adjoining *fixed pier*, with a main waterside opening, containing an operating boatlift, and which is built to house and protect a watercraft and boat related equipment.
- (b) Prerequisites. A *boathouse* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed a *fixed pier*.
- (c) Conditional Use Standards. *Boathouses* are used for storing boats that have a fuel efficiency rating greater than 95%; however, *boathouses* may also be used to store sailboats. *Boathouses* will not be used for storing any other type of items except boats and boat-related equipment. In addition, *Boathouses* shall not be used as a habitable dwelling structure, or shelter for domestic or wild animals. All *boathouses* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *boathouse* shall not be designed to prevent public access to an area of water. Accessories placed on the flat surface of a *boathouse* or catwalk must be placed in an orderly manner that allows for the safe movement of people.
- (d) Elevation Zone. A *boathouse* shall be allowed in the following zones:
 - (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.

(e) Construction Standards.

- (1) Building Materials. All *boathouse* constructed below the 437.0-foot mean sea level contour shall use only pilings and materials approved by the City of Rockwall and the City of Dallas. *Boathouses* shall be constructed utilizing composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with high-tech plastic materials) -- products equivalent to Trex brand are preferred -- for decking, galvanized metal/iron/steel or aluminum (with a minimum color rating of AAMA 2604) for the support posts, all aforementioned materials and cedar or iron wood for the roof beams, and standing seam metal for the roof with a pre-finished color. Support posts may be wrapped in composite material. Water repellant sealants shall not be used to treat any cedar or ironwood used for roof beams. All fasteners binding materials together must be made out of stainless steel.
- (2) Height. A *boathouse* shall be a minimum of 16-feet and a maximum of 21-feet in height as measured from the top of the fixed pier's catwalk to the vertex of the *boathouse's* cupola; however, in no case should a *boathouse* exceed one (1) story in height.
- (3) Size. The footprint of the exterior sides of a *boathouse* will measure a minimum of eight (8) feet in width by 30-feet in length and a maximum of 12-feet in width and 30-feet in length. *Boathouses* shall not extend more that 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) Roof. A *boathouse* will have a hip roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] two (2) cupolas each with hip roofs at either end of the top of the main hip roof. Cupolas will be designed to allow updraft air and winds to vent outward, and shall measure three (3) feet by four (4) feet. All *boathouse* roofs shall be built with a minimum of a 2:1 roof pitch and will not have an overhang greater than 18-inches. *Boathouses* shall not incorporate a deck or platform.

- (5) Lighting. Interior lighting for a *boathouse* will be directed downward from the ceiling of the structure and at the stored watercraft. Exterior lighting for a *boathouse* will be directed downwards toward the fixed pier with light fixtures incorporated either into the roof's overhang or the structure's columns. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public.
- (6) Additional Construction Standards.
- (a) Deck Ladder. A deck ladder is permitted to be constructed inside a *boathouse*.
 - (b) Storage Unit. A *boathouse* can incorporate one (1) storage unit measuring 72-inches in length by 20-inches in depth by 20-inches in height. Storage units shall be placed on the outer dockside, and shall only be used for storing boat-related equipment. The storage of fossil fuels and/or hazardous materials is prohibited.
 - (c) Boat or Watercraft Lift(s). A *boathouse* must incorporate either one (1) regular boat lift or two (2) personal watercraft boat lifts. All boat or watercraft lifts must be able to hoist a watercraft above the 438.0-foot mean sea level contour, and be maintained in good operating condition. All watercrafts must be stored under the roof of the *boathouse*.
 - (d) Pilings. The approved pilings used to support a *boathouse* must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
 - (e) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
 - (f) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.
- (7) Location. All *boathouses* are required to be located in the water of the *Lake*. View corridor restrictions do not apply to *boathouses*; however, a *boathouse* should generally be located in line with the primary structure on the leasing property (*i.e. generally centered on the lot*). *Boathouses* shall not be designed to prevent or restrict public access to any portion of water within the *Lake*.
- (f) Setback Requirements. A *boathouse* must adhere to the following setbacks:
- (1) Takeline Setback: 0-feet
 - (2) Leased Side Yard Setback: 10-feet
 - (3) Maximum Distance from Seawall: 40-feet
- (g) Additional Requirements.
- (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *boathouse* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.
 - (2) Compliance with Applicable Codes. A *boathouse* must comply with all other applicable City of Rockwall codes.
 - (3) Address. All *boathouses* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.
 - (4) Easement Protection. No *boathouse* shall encroach into an existing or identified future easement, right-of-way, access road, or path.
- (h) Visual Representation.



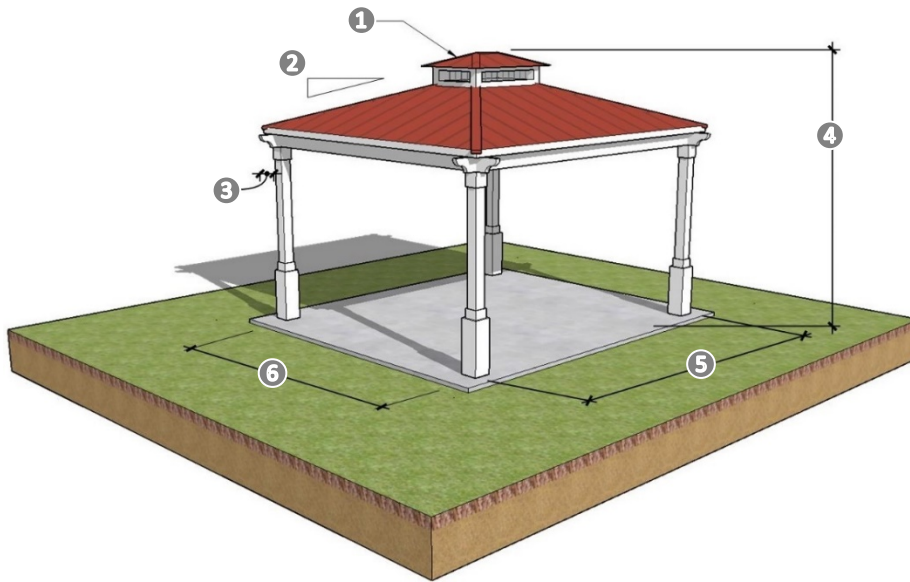
①: 40-FOOT MAXIMUM; ②: 13-FOOT MINIMUM TO 18-FOOT MAXIMUM; ③: 16-FOOT MINIMUM TO 21-FOOT MAXIMUM; ④: CATWALK (UNDERSTRUCTURE TO BE ABOVE THE 437.0-FOOT ELEVATION); ⑤: CUPOLA; ⑥: THREE (3) FEET BY FOUR (4) FEET; ⑦: 435.5-FOOT NORMAL POOL ELEVATION; ⑧: 1.5-FOOT MAXIMUM OVERHANG; ⑨: 2:1 ROOF PITCH (HIP ROOF ONLY); ⑩: SEAWALL.

(3) Covered Patio.

- (a) Definition. A covered patio is a standalone structure that provides shade and/or rain coverage for a patio or deck. Covered patios have a solid roof.
- (b) Prerequisites. A covered patio may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A covered patio shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a *Seawall* has been constructed).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A covered patio shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.
- (e) Construction Standards.
 - (1) Building Materials. A covered patio must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. The roof of the structure should generally match the color of the roof on the primary structure, and be constructed using clay tiles, standing seam metal, slate shingles, concrete shingles, or ceramic shingles. Canvas, cloth, or mesh attachments to the structure shall be prohibited.
 - (2) Height. A covered patio shall not exceed a maximum height of 15-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the mid-point of the pitched roof.
 - (3) Size. A covered patio shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.
 - (4) Roof. A covered patio will have a hip or gable roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] a clerestory built into the center of the main hip roof. Cupolas and clerestories will be designed to allow updraft air and winds to vent outward, and shall be proportional to the main roof. All covered patios should be built with a minimum of a 4:1 roof pitch. The roof shall not have an overhang greater than 18-inches.
 - (5) Location. A covered patio located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Covered patios shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A covered patio must adhere to the following setbacks:
 - (1) Takeline Setback: 6-Feet (from the Concrete Cap of the Seawall)
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a covered patio must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A covered patio must comply with all other applicable City of Rockwall codes.

- (3) Emergency Response. The *covered patio* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.

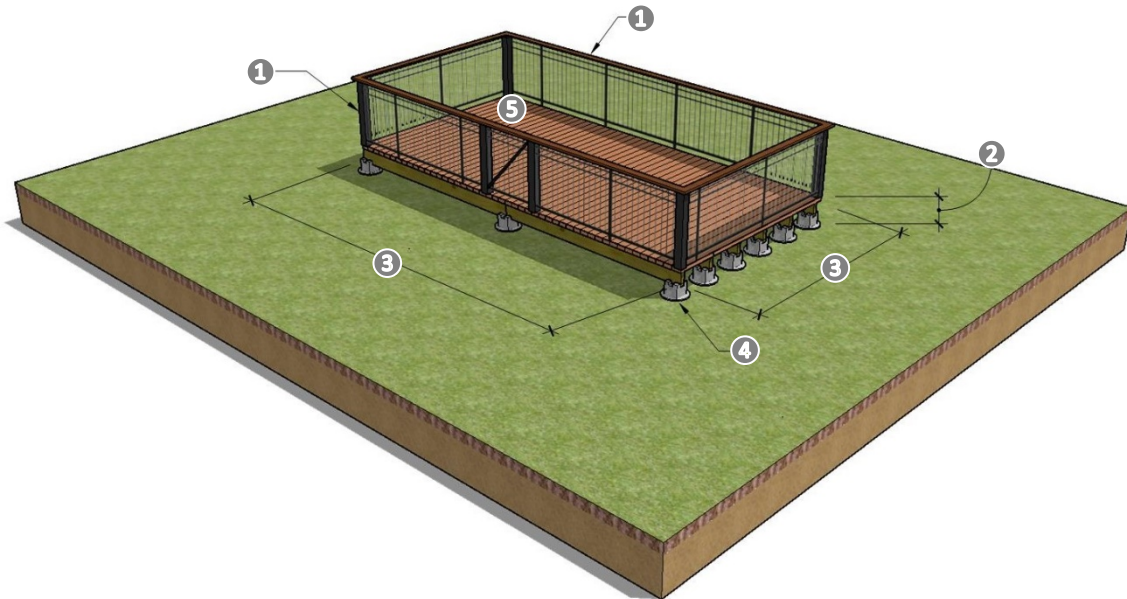


1: CUPOLA OR CLERESTORY; 2: 4:1 MINIMUM ROOF PITCH; 3: 18-INCHES MAXIMUM OVERHANG; 4: 15-FEET MAXIMUM HEIGHT; 5: 20-FEET MAXIMUM; 6: 12-FEET MAXIMUM;

(4) Deck.

- (a) Definition. A *deck* is a roofless structure anchored to the ground that consists of planks running in a horizontal pattern and creating a flat surface area.
- (b) Prerequisites. A *deck* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *deck* shall be allowed in the following zones:
- (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted (see *Dock Deck* in [Subsection 06.15\(J\)\(5\)](#)).
- (d) Conditional Use Standards. A *deck* shall not incorporate walls or other none transparent structures to function as handrails or counter space.
- (e) Construction Standards.
- (1) Building Materials. A *deck* must be constructed of composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Handrails incorporated into a *deck* in the *438.0 Elevation Zone* shall be made of wrought iron or decorative metal. Handrails are not permitted in the *435.5 Elevation Zone*.
 - (2) Height. A *deck* shall not exceed a maximum height of 24-inches above grade.
 - (3) Size. A *deck* shall not exceed a maximum area of 1,000 SF.
 - (4) Location. A *deck* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Decks* shall not be placed in the view clear zone of a neighbor's view corridor.
 - (5) Foundation. A *deck* shall be anchored into the ground using concrete posts and footings as a foundation appropriate for the load and size of the proposed *deck*.
- (f) Setback Requirements. A *deck* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *deck* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *deck* must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The *deck* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.

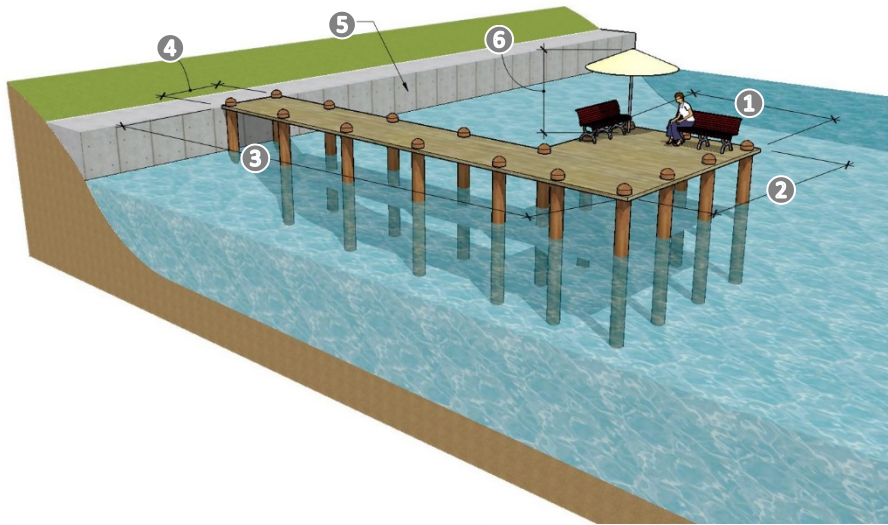


1: WROUGHT IRON OR DECORATIVE METAL; 2: MAXIMUM OF 24-INCHES OR TWO (2) FEET ABOVE GRADE; 3: (L) X (W) SHALL NOT BE GREATER THAN 1,000 SF; 4: CONCRETE POSTS AND FOOTINGS FOR FOUNDATION; 5: COMPOSITE DECKING MATERIALS.

(5) Dock Deck.

- (a) Definition. A *dock deck* is a flat floor surface area built over the water adjoining the end of a *fixed pier*.
- (b) Prerequisites. A *dock deck* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed *fixed pier*.
- (c) Elevation Zone. A *dock deck* shall be allowed in the following zones:
 - (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Items that can be securely attached to the edge of a *dock deck* include the following: [1] a personal watercraft swing lift, [2] benches, [3] dock deck lighting that is either embedded in or on a pole, [4] locker box, and/or [5] power source station. A table may also be placed on the edge or in the center of a *dock deck*. A watercraft is only allowed to moor at any portion of a *dock deck* for no more that 156-consecutive hours during any given week. All *dock decks* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *dock deck* shall not be designed to prevent public access to an area of water. *Dock decks* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories placed on the flat surface of a *dock deck* or catwalk must be placed in an orderly manner that allows for the safe movement of people.
- (e) Construction Standards.
 - (1) Building Materials. The catwalk and/or *dock deck* and any benches built on these structures shall utilize only composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material). Any railings built on a *dock deck* shall be constructed of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material) or steel tubing railings. *Dock decks* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Dock decks* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *dock decks* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall not be used.

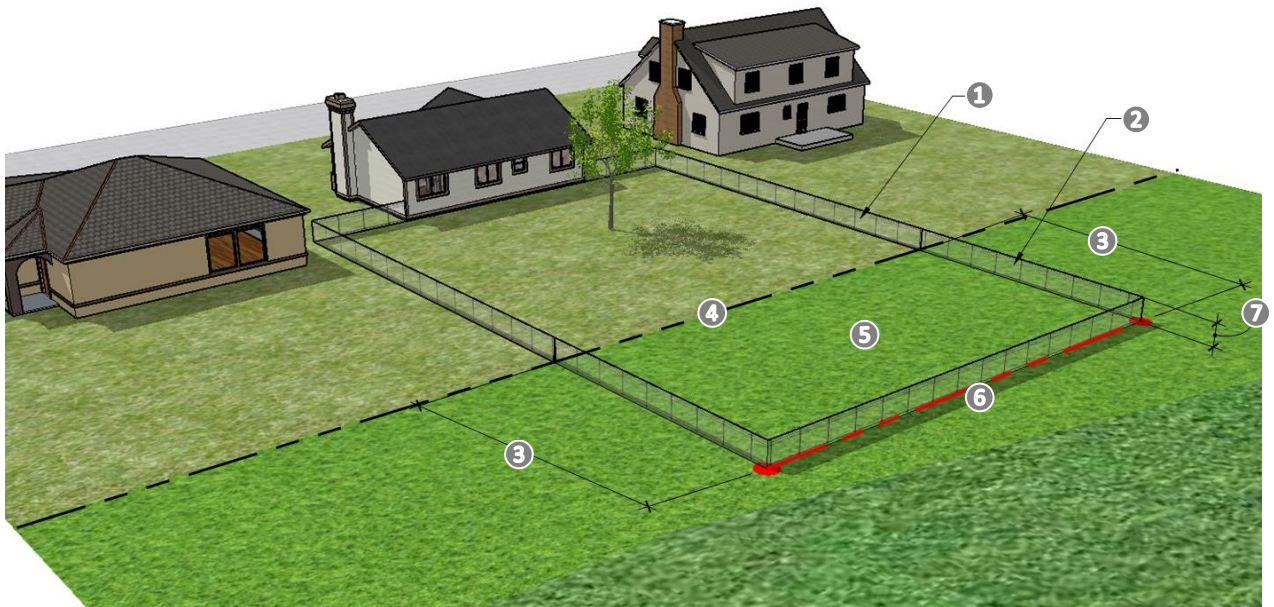
- (2) Height. No pole structures incorporated into a *dock deck* shall be higher than eight (8) feet above the flat floor surface with no more than four (4) pole structures allowed.
- (3) Size. The footprint of the exterior sides of a *dock deck* adjoining a fixed pier shall be a minimum of eight (8) feet by ten (10) feet (*i.e.* 80 SF) and a maximum of 12-feet by 30-feet (*i.e.* 360 SF). *Dock decks* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (*i.e.* 435.5).
- (4) Lighting. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of a *dock deck* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed along the periphery of a *dock deck*.
- (5) Additional Construction Standards.
 - (a) Pilings. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-foot mean sea level. Vertical rub rails are required on all concrete piers and pilings.
 - (b) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-foot mean sea level.
 - (c) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.
- (6) Location. View corridor restrictions do not apply to *dock decks*. *Dock decks* shall not be allowed on land.
- (f) Setback Requirements. A *dock deck* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-feet
 - (2) Leased Side Yard Setback: 10-feet
 - (3) Maximum Distance from Seawall: 40-feet
- (g) Additional Requirements.
 - (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *dock deck* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-foot mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.
 - (2) Compliance with Applicable Codes. A *dock deck* must comply with all other applicable City of Rockwall codes.
 - (3) Address. All *dock decks* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.
 - (4) Easement Protection. No *dock deck* shall encroach into an existing or identified future easement, right-of-way, access road, or path.
- (h) Visual Representation.



①: MINIMUM OF TEN (10) FEET AND A MAXIMUM OF 30-FEET; ②: MINIMUM OF EIGHT (8) FEET AND A MAXIMUM OF 12-FEET; ③: 40-FOOT MAXIMUM; ④: SIX (6) FOOT MAXIMUM; ⑤: SEAWALL; ⑥: EIGHT (8) FOOT MAXIMUM;

(6) Fence.

- (a) Definition. A *fence* is a barrier, railing, or other upright structure, enclosing a specific area to mark a boundary or control access.
- (b) Prerequisites. A fence may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A fence shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A fence shall only be allowed to enclose an area beginning at the *Takeline* corners (i.e. the rear property line corners of the property leasing the take area), extending 45-feet along the lease line, and connecting the two (2) points in a straight line (see example below).

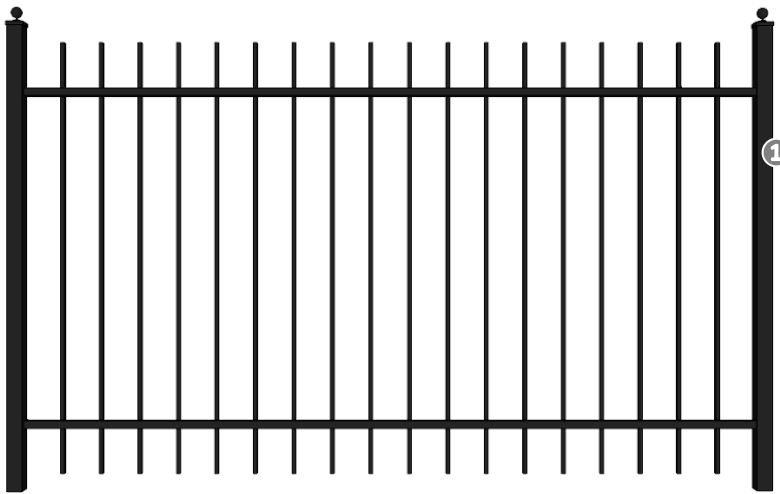


①: EXISTING RESIDENTIAL FENCE ON THE LEASING PROPERTY; ②: WROUGHT IRON OR BLACK TUBULAR STEEL FENCE; ③: MAXIMUM OF 45-FEET ALONG THE LEASE LINE OF THE TAKELINE; ④: REAR PROPERTY LINE/BEGINNING OF THE TAKELINE; ⑤: 438.0 ELEVATION ZONE; ⑥: THE STRAIGHT-LINE CONNECTION BETWEEN THE TWO (2), 45-FOOT POINTS; ⑦: MAXIMUM OF 48-INCHES OR FOUR (4) FEET.

(e) Construction Standards.

- (1) Building Materials. A fence shall only be constructed of wrought iron or black tubular steel.

- (2) Height. A fence shall not exceed a maximum height of 48-inches from grade.
- (3) Location. A fence shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A fence must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 0-Feet
- (g) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a fence must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A fence must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.



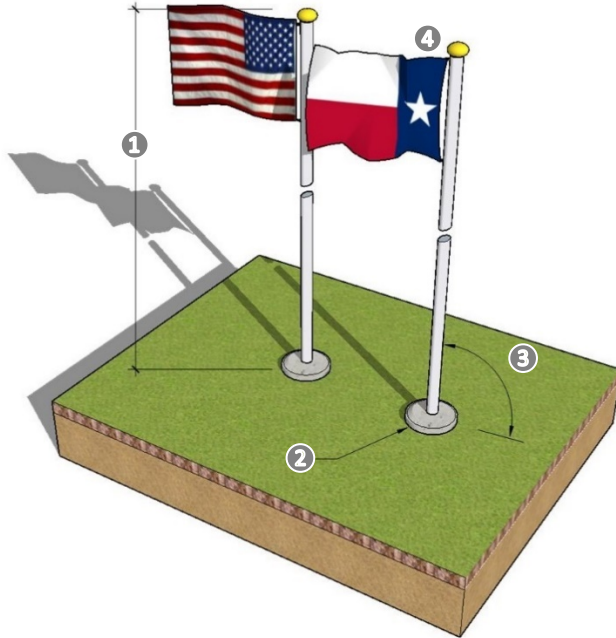
1: FOUR (4) FOOT WROUGHT IRON FENCE

- (7) Flagpole.
 - (a) Definition. A *flagpole* is an upright pole or staff, constructed at a 90-degree angle to the finished grade, which is used to raise a flag.
 - (b) Prerequisites. A *flagpole* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
 - (c) Elevation Zone. A *flagpole* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a *Seawall* has been constructed).
 - (3) 425.5: Not Permitted.
 - (d) Conditional Use Standards. A maximum of two (2) *flagpoles*, with one (1) flag on each pole shall be permitted within a lease area. The United States of America and State of Texas flags measuring a maximum of six (6) feet by four (4) feet will be the only flags permitted to be flown along the takeline. Lighting in association with a flagpole shall be prohibited.
 - (e) Construction Standards.
 - (1) Building Materials. A *flagpole* shall *only* be constructed of either stainless steel or aluminum.
 - (2) Height. A *flagpole* shall not exceed a maximum height of 20-feet from grade.
 - (3) Size. At the ground base a *flagpole* shall measure a minimum size of five (5) inches and a maximum size of eight (8) inches.
 - (4) Location. A *flagpole* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Flagpoles* shall not be placed in the view clear zone of a neighbor's view corridor.
 - (f) Setback Requirements. A *flagpole* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *flagpole* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *flagpole* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The *flagpole* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



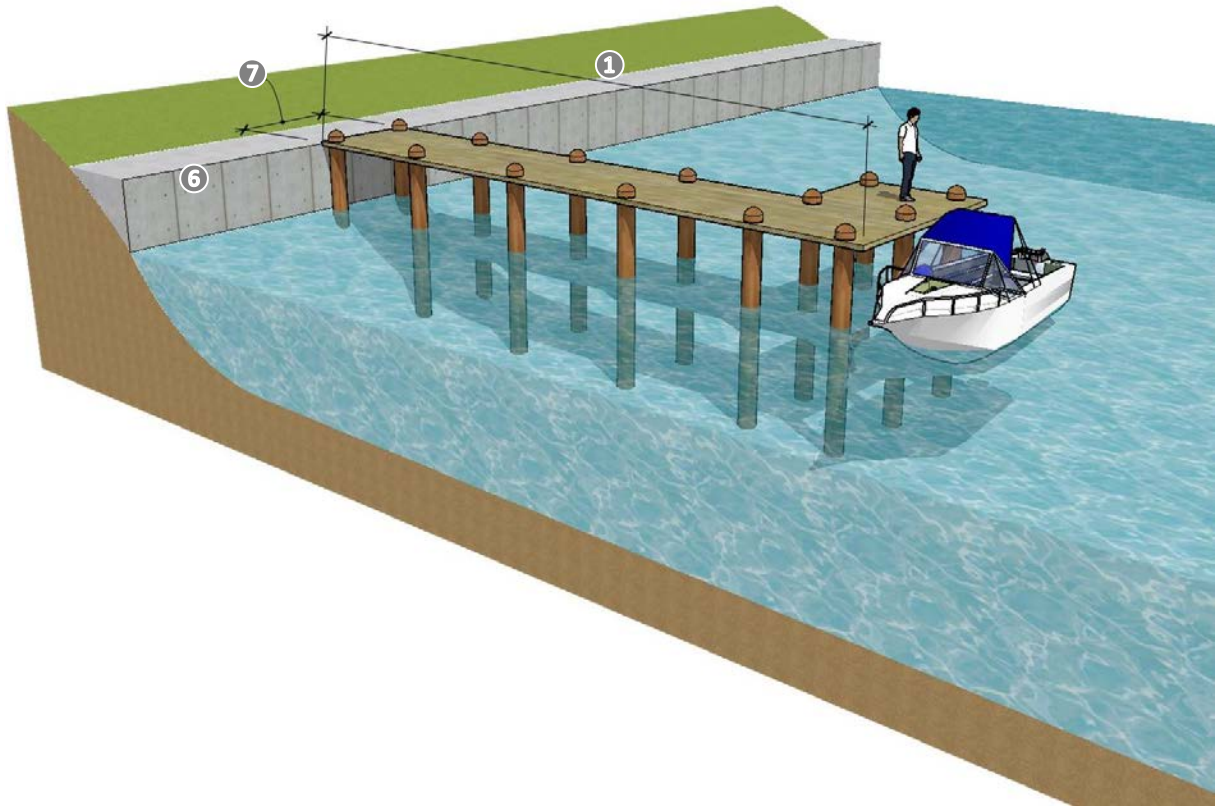
①: MAXIMUM OF 20-FEET FROM GRADE; ②: AT THE BASE THE FLAGPOLE CAN BE A MINIMUM OF FIVE (5) INCHES AND A MAXIMUM OF EIGHT (8) INCHES; ③: MAINTAINED TO BE 90-DEGREES FROM GRADE; ④: FLAGPOLES ARE PERMITTED ONE (1) FLAG A MAXIMUM OF FOUR (4) FEET BY SIX (6) FEET;

(8) Fixed Pier.

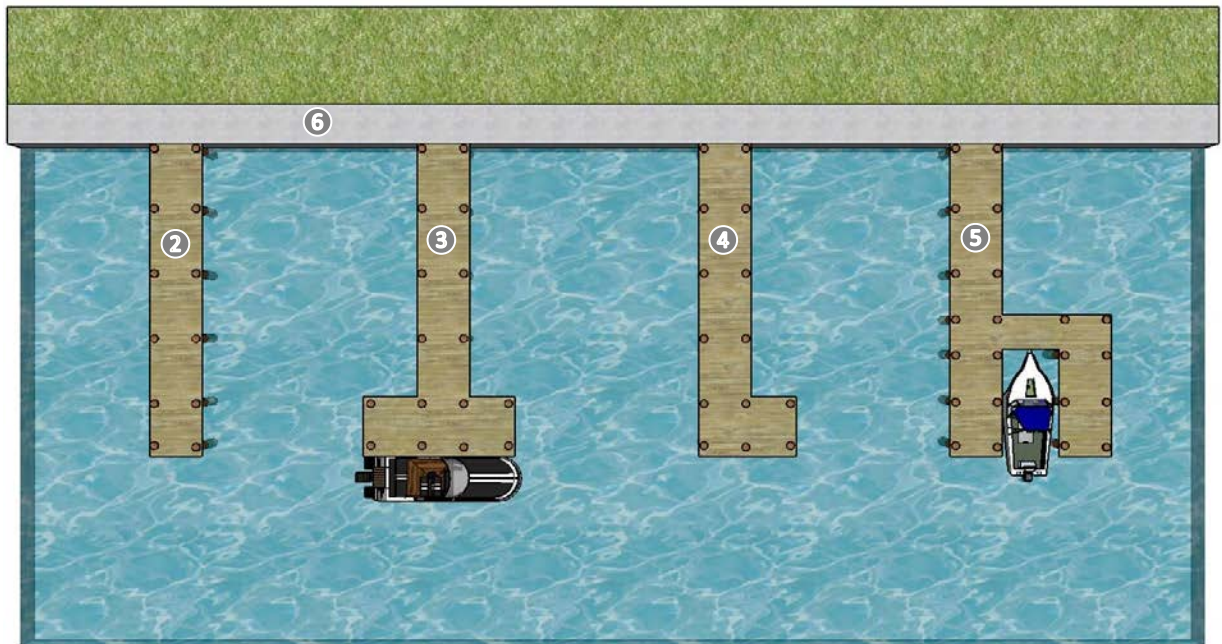
- (a) Definition. A *fixed pier* is a structure with a catwalk that extends from the shoreline out into the body of water with the structure being used to moor and land watercraft.
- (b) Prerequisites. A *fixed pier* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, and has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *fixed pier* shall be allowed in the following zones:
 - (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Each eligible property adjacent to the lakeline will be permitted one (1) fixed pier with an adjoining dock deck and/or boathouse. *Fixed piers* can be designed to be in an 'I', 'T', 'L' or 'U' shape (see [Subsection 06.15\(J\)\(8\)\(h\)](#)). Items that can be securely attached to the edge of a *dock deck* include the following: [1] a personal watercraft swing lift, [2] benches, [3] cleats, [4] dock lighting, [5] locker box, and/or [6] power source station. A watercraft is only allowed to moor at any portion of a *fixed pier* for no more than 156-consecutive hours during any given week. All *fixed pier* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *fixed pier* shall not be designed to prevent public access to an area of water. *Fixed piers* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories placed on the flat surface of a catwalk of a *fixed pier* must be placed in an orderly manner that allows for the safe movement of people.
- (e) Construction Standards.
 - (1) Building Materials. The catwalk and any benches built on these structures shall utilize only composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Any railings built on a *fixed pier* shall be constructed of composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed*

with a high-tech plastic material) or steel tubing railings. *Fixed piers* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Fixed piers* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *fixed piers* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall not be used.

- (2) Height. No pole structures incorporated into a *fixed pier* shall be higher than eight (8) feet above the flat floor surface with no more than two (2) pole structures allowed.
- (3) Size. The catwalk of a *fixed pier* will be a maximum of six (6) feet in width, as measured at a 90-degree angle to the main *fixed pier's* length, and will not enclose any portion of the water to allow the free movement of water underneath. *Fixed piers* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) Lighting. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of the catwalk of a *fixed pier* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed at the end of a *fixed pier*.
- (5) Additional Construction Standards.
 - (a) Pilings. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-feet mean sea level. Vertical rub rails are required on all concrete piers and pilings.
 - (b) Catwalks. The catwalk of a *fixed pier* will be allowed within nine (9) feet of the normal pool elevation of 435.5-feet mean sea level. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-feet mean sea level.
 - (c) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside end of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.
- (6) Location. View corridor restrictions do not apply to *fixed piers*.
- (f) Setback Requirements. A *fixed pier* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-feet
 - (2) Leased Side Yard Setback: 10-feet
 - (3) Maximum Distance from Seawall: 40-feet
- (g) Additional Requirements.
 - (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *fixed pier* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-feet mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.
 - (2) Compliance with Applicable Codes. A *fixed pier* must comply with all other applicable City of Rockwall codes.
 - (3) Address. All *fixed pier* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.
 - (4) Easement Protection. No *fixed pier* shall encroach into an existing or identified future easement, right-of-way, access road, or path.
- (h) Visual Representation.



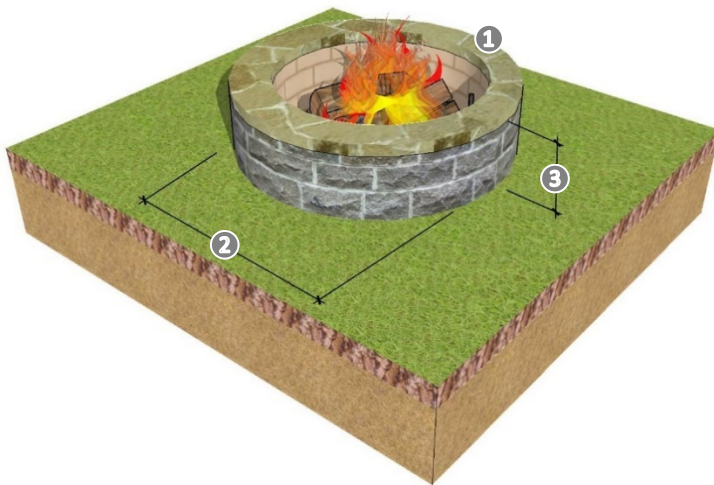
①: 40-FOOT MAXIMUM; ②: PIER IN AN 'I' SHAPE; ③: PIER IN A 'T' SHAPE; ④: PIER IN A 'L' SHAPE; ⑤: PIER IN A 'U' SHAPE; ⑥: SEAWALL; ⑦: SIX (6) FOOT MAXIMUM



(9) Fire Pit.

- (a) Definition. A fire pit is a permanent fireplace that is dug into the ground or is in a freestanding structure in which a contained fire is made.
- (b) Prerequisites. A fire pit may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (c) Elevation Zone. A fire pit shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a Seawall has been constructed).

- (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *fire pit* can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (i.e. *natural gas or propane*).
- (e) Construction Standards.
- (1) Building Materials. The surround (i.e. *the area used to contain the fire*) for a *fire pit* must be constructed utilizing a combination of natural stone, brick, and/or concrete.
 - (2) Height. A *fire pit* shall not exceed a maximum of 36-inches in height.
 - (3) Size. A *fire pit* shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a *fire pit* should not exceed a maximum size of five (5) feet in length by five (5) feet in width.
- (f) Setback Requirements. A *fire pit* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a *fire pit* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *fire pit* must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.

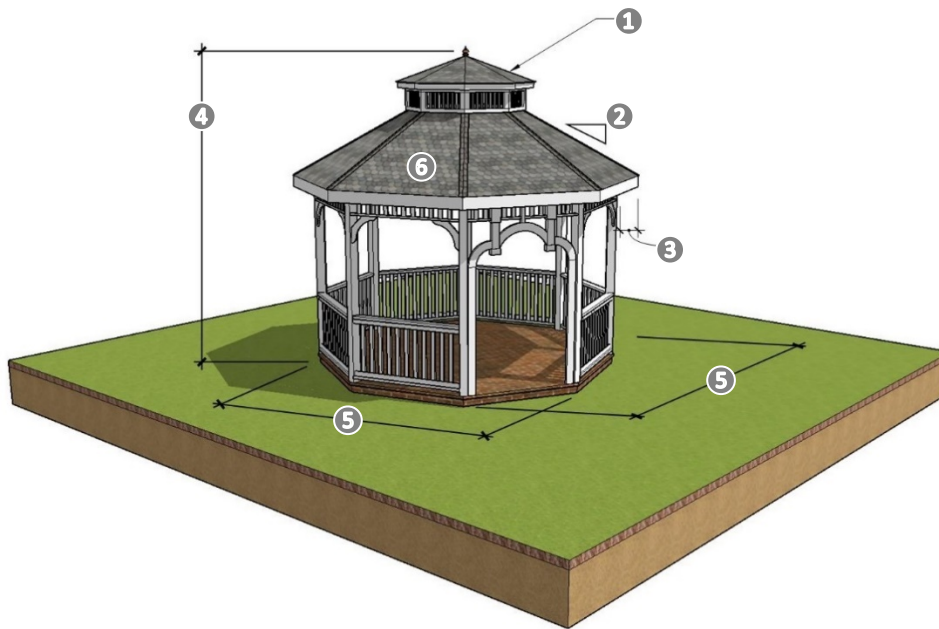


❶: NATURAL STONE, BRICK, AND/OR CONCRETE; ❷: MINIMUM SIZE OF THREE (3) FEET BY THREE (3) FEET AND A MAXIMUM SIZE OF FIVE (5) FEET BY FIVE (5) FEET; ❸: MAXIMUM HEIGHT OF 36-INCHES OR THREE (3) FEET.

- (10) Gazebo.
- (a) Definition. A *gazebo* is a permanent stand-alone structure with a roof and trellis structure open on all sides with places for sitting.
 - (b) Prerequisites. A *gazebo* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
 - (c) Elevation Zone. A *gazebo* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a *Seawall* has been constructed).
 - (3) 425.5: Not Permitted.
 - (d) Conditional Use Standards. A *gazebo* shall not be used as a habitable dwelling structure, storage facility, deck, or shelter for domestic or wild animals.
 - (e) Construction Standards.
 - (1) Building Materials. A *gazebo* built in the *438.0 Elevation Zone* must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or

metal. The side trellis of the *gazebo* may be built using wood; however, canvas, cloth, or mesh attachments to the structure shall be prohibited. A *gazebo* built in the 435.5 Elevation Zone shall only be built out of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material), or metal. A *gazebo* will be constructed using steel reinforced concrete piers.

- (2) Height. A *gazebo* shall not exceed a maximum height of 15-feet without a clerestory and 18-feet with a clerestory/cupola. The height of the *gazebo* shall be measured from grade to the vertex of the *gazebo*'s main roof or clerestory/cupola roof. In either case a *gazebo* shall not be larger than one (1) story or incorporate a balcony.
 - (3) Size. A *gazebo* shall not exceed a maximum size of 12-feet by 12-feet or 144 SF.
 - (4) Roof. The roof of the *gazebo* shall be a hipped roof, gable roof, or hip and/or gable roof with or without a clerestory/cupola, and have a slope of 2:1. The roof shall not have an overhang greater than 18-inches. In addition, the roof of the *gazebo* can match the roof of the primary structure on the leasing property; otherwise, the roof shall be built out of a prefinished standing seam galvanized metal roof. If a clerestory/cupola is incorporated it shall be centered at the top of the main hip roof.
 - (5) Location. A *gazebo* located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. *Gazebos* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *gazebo* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a *gazebo* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *gazebo* must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The *gazebo* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.



①: CUPOLA OR CLERESTORY; ②: 2:1 MINIMUM ROOF PITCH; ③: 1.5-FOOT MAXIMUM OVERHANG; ④: 18-FEET MAXIMUM HEIGHT WITH A CUPOLA OR CLERESTORY AND 15-FEET WITHOUT A CUPOLA OR CLERESTORY; ⑤: 12-FEET MAXIMUM; ⑥: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

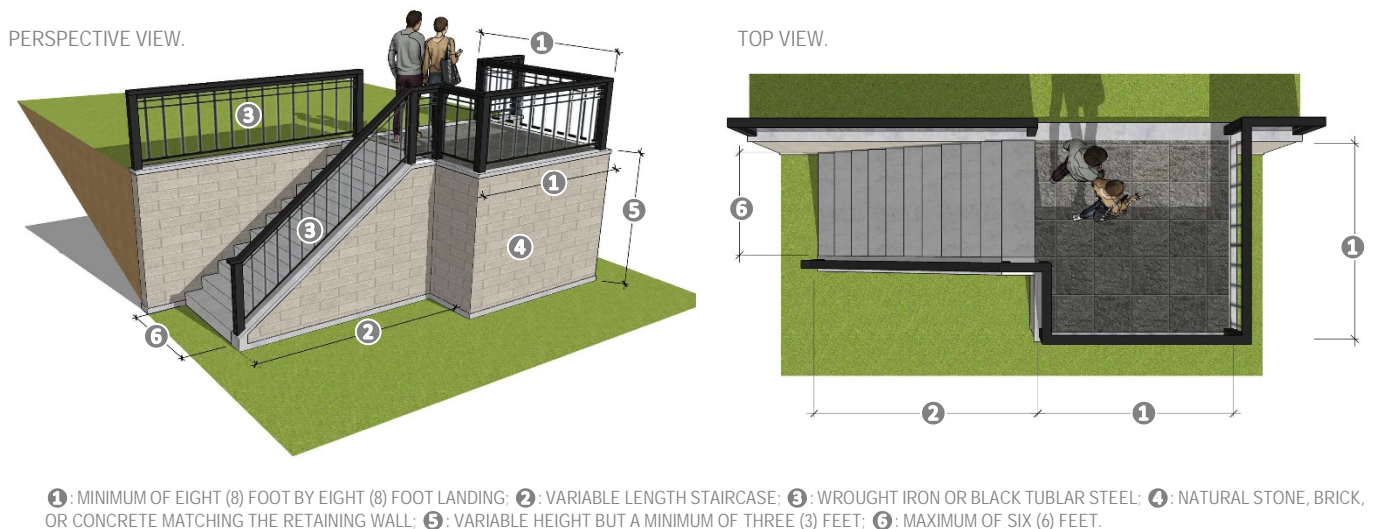
(11) Landing and Stairs.

- (a) Definition. A *landing* is the area of a floor near the top or bottom step of a stair. A *stair* is a set of steps leading from one floor of an area to another.
- (b) Prerequisites. A *landing and stairs* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 or 425.5 Elevation Zones -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *landing and stairs* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (if a Seawall has been constructed).
- (3) 425.5: Permitted (if a Seawall has been constructed).

NOTE: A landing and stairs located in the 425.5 Elevation Zone is permitted beside the lake but not upon or over the lake.

- (d) Conditional Use Standards. A landing and stairs shall be allowed to be constructed in conjunction with a retaining wall if the retaining wall exceeds three (3) feet in height measured from the adjacent grade to the top of the wall.
- (e) Construction Standards.
 - (1) Building Materials. A landing and stairs shall be constructed of wrought iron or black tubular steel, natural stone, brick, and/or concrete.
 - (2) Height. A landing and stairs shall not exceed the height of the adjacent retaining wall.
 - (3) Size. A landing and stairs shall be limited to eight (8) feet by eight (8) feet measured at the top of the adjacent retaining wall and the staircase shall be parallel to the retaining wall with a maximum width of a six (6) foot projection from the wall.
 - (4) Location. A landing and stairs shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A landing and stairs must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 5-Feet
- (g) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a landing and stairs must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A landing and stairs must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.



(12) Landscaping and Retaining Walls.

- (a) Definition. *Landscaping* is the minor modification or altering of the surrounding takeline area terrain and shoreline with trees, shrubs, ground cover, and native stone or interlocking retaining walls.
- (b) Prerequisites. *Landscaping and retaining walls* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. *Landscaping and retaining walls* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.

NOTE: Remedial landscaping in the 425.5 Zone is permitted when the intent is to maintain the integrity of the shoreline. This will require the approval of the Director of Parks and Recreation.

- (d) Conditional Use Standards. Landscaping and retaining walls shall compliment and be integrated into the existing woodlands, wetlands, and general aesthetic of the takeline area. Landscaping shall not consist of hedge or shrub rows, or any plantings that may restrict views or lead to the siltation and/or erosion of the shoreline. The use of pesticides, herbicides, fungicides, or preservatives is strictly prohibited. All landscaping must comply with the requirements of [Article 08, Landscaping and Fence Standards, of the Unified Development Code \(UDC\)](#). For information regarding planting or removing trees see [Subsection \(F\)\(4\)](#) above.

- (e) Construction Standards.

- (1) Building Materials. Retaining walls shall be finished in native stone and will only be allowed in the 438.0 Elevation Zone and the 435.5 Elevation Zone. The use of mulch is prohibited in all zones with the exception of the 438.0 Elevation Zone. The use of railroad ties, treated wood, pea gravel -- *with the exception of using it as a base* --, and brick shall be prohibited.
- (2) Height. Retaining walls as part of landscaping will be limited to less than three (3) feet.
- (3) Location. Landscaping and retaining walls shall not hinder the view clear zone of an adjacent neighbor's view corridor. Landscaping shall not exceed six (6) feet in height in the view clear zone.

- (f) Setback Requirements. Retaining walls must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 6-Feet

- (g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of landscaping and retaining walls must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. Landscaping and retaining walls must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. Landscaping and retaining walls shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(13) Municipal Utilities.

- (a) Definition. Municipal utilities represent all local utilities that consist of cable lines, pipelines, and wiring already existing and planned running through the take area used by both the local community and the region's communities to facilitate the distribution and collection of communications, water, electricity, natural gas, and waste byproducts.
- (b) Elevation Zone. Municipal utilities shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted.
- (3) 425.5: Permitted.

- (c) Conditional Use Standards. All municipal utilities' infrastructure is permitted within the take area. Municipal utilities shall be placed underground.
- (d) Setback Requirements. Municipal utilities must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

- (e) Additional Requirements.

- (1) Compliance with Applicable Codes. Municipal utilities must comply with all other applicable City of Rockwall codes.

(14) Outdoor Lighting.

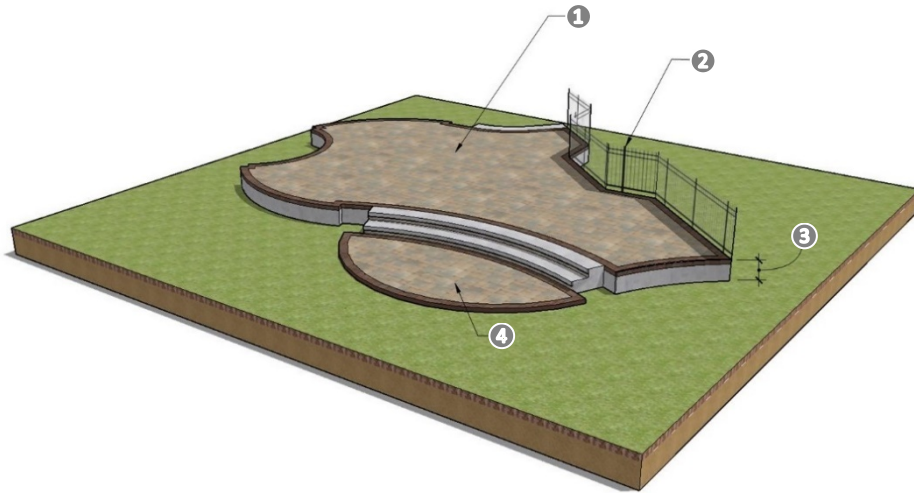
- (a) Definition. Outdoor lighting is a structure or system of structures, fixtures, and/or devices used to provide artificial nighttime lighting over a defined broad area, on buildings and monuments, on docks for safety, and to emphasize landscaping but not directed to the detriment of the traveling public or surrounding residents in the light's path.
- (b) Prerequisites. Outdoor lighting may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. Outdoor lighting shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Not Permitted.
- (3) 425.5: Not Permitted.

NOTE: Catwalk lighting in the 425.5 Elevation Zone is the only permitted *outdoor lighting* allowed below the 438.0 Elevation Zone.

- (d) Conditional Use Standards. Systems and structures associated with *outdoor lighting* include artificial landscape lighting, dock lighting, monument lighting, and flood lights. Cobra and florescent light fixtures are *not* allowed on poled structures. All lights are to have shields which deflect light downward. The operation of search or spot lighting shall be prohibited.
 - (e) Photometric Plan. A photometric plan describing compliance with the provisions of [Article 07, Performance Standards, of the Unified Development Code \(UDC\)](#) shall be submitted to the Director of Planning and Zoning or his/her designee prior to the issuance of a building permit for *outdoor lighting*. This plan shall be prepared by an appropriate lighting professional (e.g. *lighting engineer, architect, or other qualified lighting designer*). Upon installation of the lighting, the lighting professional shall provide a letter certifying that the lighting is installed in accordance with the approved photometric plan. The Director of Planning and Zoning, or his/her designee, shall have the authority to interpret and determine compliance with the photometric plan and the Unified Development Code (UDC). The Planning and Zoning Commission may grant an exception to the provisions of the Unified Development Code (UDC) when strict compliance with the requirements of this section will result in substantial financial hardship or inequity, so long as such exception is without harm to the public. Decisions of the Planning and Zoning Commission may be appealed to the City Council in accordance with the procedures outline in [Section 09, Exceptions and Variances, of Article 11, Development Applications and Review Procedures, of the Unified Development Code \(UDC\)](#).
 - (f) Construction Standards.
 - (1) Building Materials. *Outdoor lighting* poles must be constructed of aluminum or steel. Wood and/or concrete poles are prohibited.
 - (2) Height. The height of *outdoor lighting* shall range from light fixtures embedded into a catwalk periphery to a 12-foot maximum for post structures on land for broader illumination. Poled outdoor light fixtures within the 438.0 Elevation Zone should be no taller than one-third (1/3) the distance to a neighboring property and should not exceed 12-feet.
 - (3) Location. *Outdoor lighting* fixtures shall not be placed in the view clear zone of a neighbor's view corridor; however, view corridor restrictions do not apply for *outdoor lighting* associated with boathouses, dock decks, or fixed piers except as described for each use due to brightness and glare to surrounding neighbors and the traveling public.
 - (g) Setback Requirements. *Outdoor lighting* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
 - (h) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of *outdoor lighting* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. *Outdoor lighting* must comply with all other applicable City of Rockwall codes.
 - (3) Municipal or Government Installed Lighting. *Outdoor lighting* installed by and/or for a governmental agency for a public benefit that is used for activities for the public benefit (e.g. *rights-of-way, ball fields, airports, and/or parks*) shall be exempted from the requirements of this section; however, parking lot lighting for these activities shall meet the requirements of the Unified Development Code (UDC).
- (15) Patio.
- (a) Definition. A *patio* is a paved, tiled, or rocked outdoor area that is generally used for dining or recreation.
 - (b) Prerequisites. A *patio* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
 - (c) Elevation Zone. A *patio* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
 - (d) Conditional Use Standards. A *patio* shall not incorporate walls or other none transparent structures to function as handrails or counter space.
 - (e) Construction Standards.

- (1) Building Materials. A *patio* must be constructed with natural stone. Handrails incorporated into a *patio* in the 438.0 Elevation Zone shall be made of wrought iron or decorative metal. Handrails are not permitted in the 435.5 Elevation Zone.
 - (2) Height. A *patio* shall not exceed a maximum height of 12-inches above grade.
 - (3) Size. A *patio* shall not exceed a maximum area of 1,000 SF.
 - (4) Location. *Patios* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *patio* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a *patio* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *patio* must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The *patio* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.

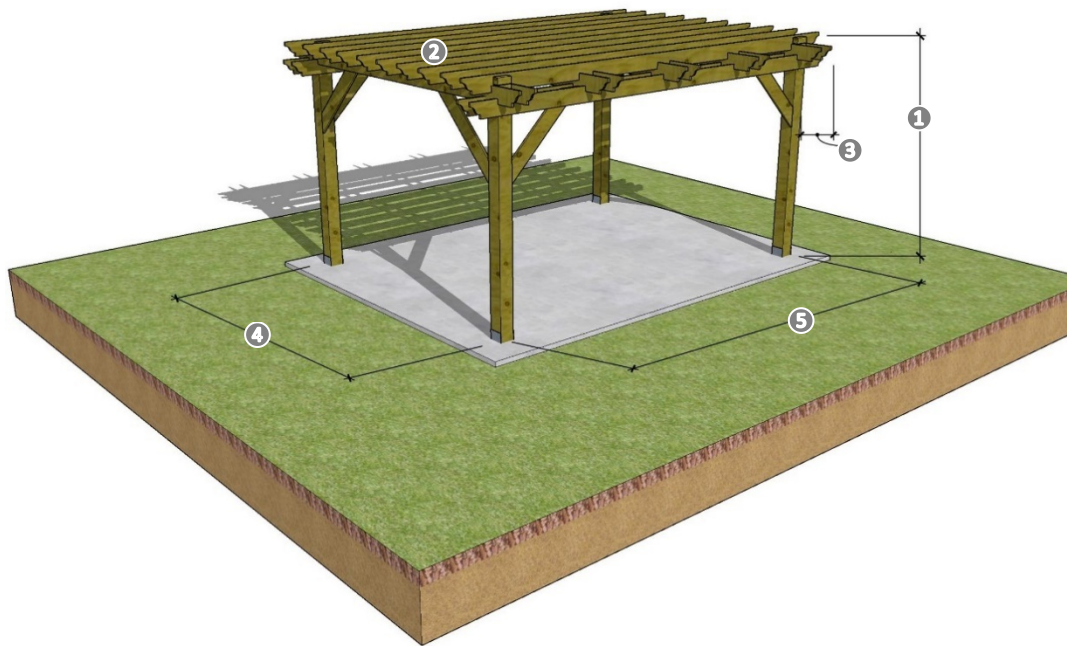


①: NATURAL STONE; ②: WROUGHT IRON OR BLACK TUBULAR STEEL; ③: MAXIMUM OF 12-INCHES OR ONE (1) FOOT; ④: PATIO AREA SHALL NOT BE GREATER THAN 1,000 SF

(16) Pergola.

- (a) Definition. A *pergola* is a stand along structure consisting of parallel columns supporting an open roof of girders and cross rafters.
- (b) Prerequisites. A *pergola* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *pergola* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a *Seawall* has been constructed).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *pergola* shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.
- (e) Construction Standards.
- (6) Building Materials. A *pergola* constructed within the 438.0 Elevation Zone must be constructed utilizing cedar, redwood, ironwood, composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. A *pergola* constructed within the 435.5 Elevation Zone must be constructed using composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*) or metal. Canvas, cloth, or mesh attachments to the structure shall be prohibited.

- (7) Height. A *pergola* shall not exceed a maximum height of 12-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the highest point of the structure.
 - (8) Size. A *pergola* shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.
 - (9) Roof. The roof of the *pergola* shall not have an overhang greater than 18-inches.
 - (10) Location. A *pergola* located within the 435.5 *Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Pergolas* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *pergola* must adhere to the following setbacks:
- (3) Takeline Setback: 0-Feet
 - (4) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (4) Earth Work. Earth work required for the construction of a *pergola* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (5) Compliance with Applicable Codes. A *pergola* must comply with all other applicable City of Rockwall codes.
 - (6) Emergency Response. The *pergola* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.

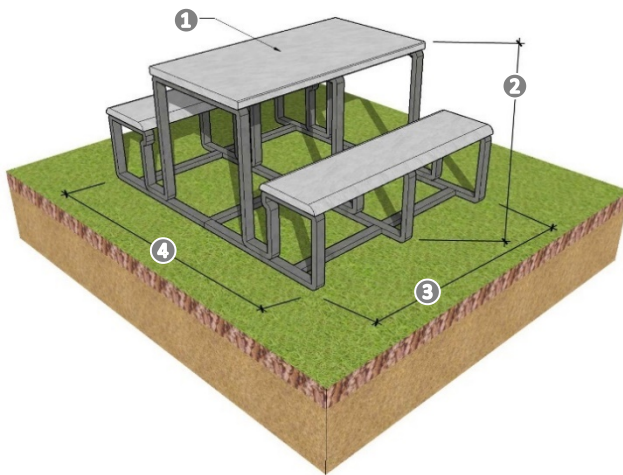


1: 12-FOOT MAXIMUM HEIGHT; 2: OPEN ROOF OF GIRDERS OR RAFTERS; 3: 1.5-FOOT MAXIMUM OVERHANG; 4: 12-FOOT MAXIMUM; 5: 20-FOOT MAXIMUM; 6: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

(17) Picnic Table.

- (a) Definition. A *picnic table* is a permanent outdoor structure used for outdoor dining.
- (b) Prerequisites. A *picnic table* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *picnic table* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *picnic table* must be a minimum of 12-feet from a *barbecue pit* or *fire pit*, and shall be open to the air (i.e. no roof covering) unless combined with a covered patio or pergola. A *picnic table* shall be built on level terrain.
- (e) Construction Standards.

- (1) Building Materials. The surface area of the *picnic table* shall be constructed out of concrete, brick, or native stone. *Picnic tables* constructed with wood shall be prohibited.
 - (2) Height. A *picnic table* shall not exceed a maximum of 36-inches in height.
 - (3) Size. A *picnic table* shall not exceed a maximum size of ten (10) feet in length by eight (8) feet in width.
 - (4) Location. A *picnic table* located within the 435.5 *Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Picnic tables* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *picnic table* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a *picnic table* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *picnic table* must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The *picnic table* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.

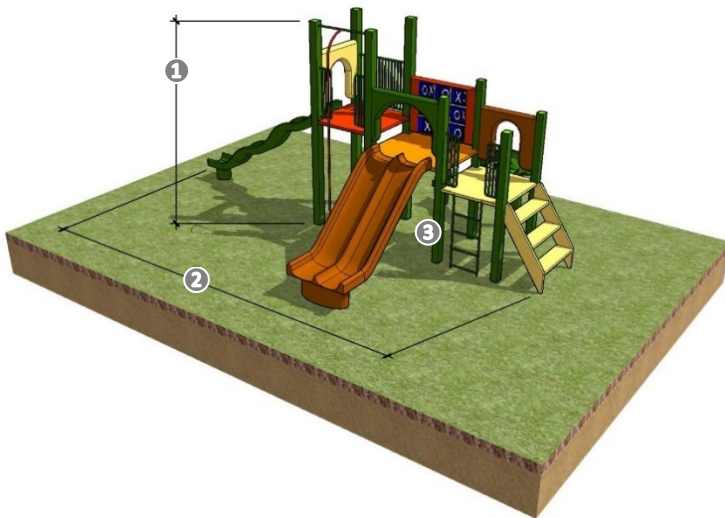


❶: SURFACE OF THE PICNIC TABLE SHALL BE CONCRETE, BRICK, OR NATIVE STONE; ❷: NOT TO EXCEED 36-INCHES OR THREE (3) FEET; ❸: EIGHT (8) FOOT MAXIMUM; ❹: TEN (10) FOOT MAXIMUM.

(18) Private Play Structure.

- (a) Definition. A *private play structure* is a permanent outdoor structure used by children for play, which is installed by the private property owner.
- (b) Prerequisites. A *private play structure* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *private play structure* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *private play structure* can consist of arched ladders, vertical ladders, horizontal ladders, clatter bridge, timber structures, slides, fort and slide playset, climbers, play walls, play climbers, play pods, moon houses, jungle gyms, see-saws, merry-go-rounds, domes, rocket riders, tire swings, buoy balls, monkey bars, drums, chin-up bars, trampoline and rock walls; however, sandboxes and/or sand play areas shall not be permitted.
- (e) Construction Standards.
 - (1) Building Materials. A *private play structure* shall be built out of aluminum, galvanized steel, rubber, and/or water-resistant wood; however, railroad ties and treated lumber are prohibited. The exterior color of a *private play structure* should blend and incorporate the same hues and tones of the surrounding landscaping.

- (2) Height. A private play structure shall not exceed a maximum of eight (8) feet in height.
 - (3) Size. All private play structures will be situated in a collected area that is a maximum of 1,000 SF in area.
 - (4) Location. Private play structures shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A private play structures must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a private play structures must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A private play structure must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The private play structure shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.



①: MAXIMUM OF EIGHT (8) FEET IN HEIGHT; ②: TOTAL SQUARE FOOTAGE SHALL NOT EXCEED A MAXIMUM OF 1,000 SF; ③: EXTERIOR COLOR SHOULD BLEND WITH THE SURROUNDING LANDSCAPING.

(19) Private Utilities.

- (a) Definition. Private utilities are a system of underground cable line, pipelines, and wiring installed by the leasing property owner to maintain and operate improvements in the take area.
- (b) Prerequisites. Private utilities may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. Private utilities shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. Private utilities are required to be buried in accordance with Chapter 38, *Subdivisions*, of the City of Rockwall's Municipal Code of Ordinances. No overhead private utility lines are permitted in the lease area. Private utilities containing natural gas, propane, gasoline, oil, diesel, or similar types of compounds shall not be permitted within the lease area. No part of any *On-Site Sanitary Sewer System* (OSSF) or any other private wastewater system or appurtenances shall be permitted within the lease area.
- (e) Construction Standards.
 - (1) Building Materials. Private utilities shall only be constructed out of materials permitted by the City's Engineering Department.
 - (2) Location. Private utilities within 20-feet of the normal pool elevation shoreline (*i.e.* 435.5) shall be built to handle load factors associated with emergency and service vehicles. Private utilities containing electricity and communication lines built into structures over the water shall not be allowed below the 436.5-foot mean sea level elevation.

(f) Setback Requirements. *Private utilities* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of *private utilities* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private utility* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any *private utility* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(20) Private Walkways.

- (a) Definition. *Private walkways* can be a single path or a network of paths installed by the leasing property owner in the takeline area.
- (b) Prerequisites. *Private walkways* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. *Private walkways* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a *Seawall* has been constructed).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. *Private walkways* with steps are permitted (see *Landing and Stairs* in [Subsection 06.15\(J\)\(11\)](#)).
- (e) Construction Standards.

- (1) Building Materials. *Private walkways* shall be constructed using native stone, brick and/or rectangle pavers; however, *private walks* shall not consist of loose stone, gravel, sand, asphalt, or concrete.
- (2) Height. *Private walkways* shall be flush with the surrounding grade, or work within the gradient present of the surrounding grade.
- (3) Size. *Private walkways* shall be no greater than 48-inches in width.
- (4) Location. *Private walkways* may encroach into an existing easement or right-of-way, encroach into an identified future easement or right-of-way, or encroach into an identified or set aside access path, provided that the property owner or sublease is responsible for repair and/or replacement of the walks in the event they are damaged or removed by the City or other public entity as a result of the necessary use of, or work within or around, said easements. An existing and future easement running through a lease property will be allowed to substitute for the 12-foot wide primary access right-of-way path provided it is 12-foot wide, suitable for access, and will connect to adjacent access paths.

(f) Setback Requirements. *Private walkways* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 10-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of *private walkways* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private walkway* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any *private walkway* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(21) Seawall.

- (a) Definition. A *seawall* is an engineered concrete or steel structure at the water's edge that is typically designed to curb shoreline erosion where it is installed.
- (b) Prerequisites. A *seawall* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *seawall* shall be allowed in the following zones:
 - (1) 438.0: Not Permitted.

- (2) 435.5: Not Permitted.
- (3) 425.5: Permitted.

NOTE: Seawalls are only permitted along the shoreline.

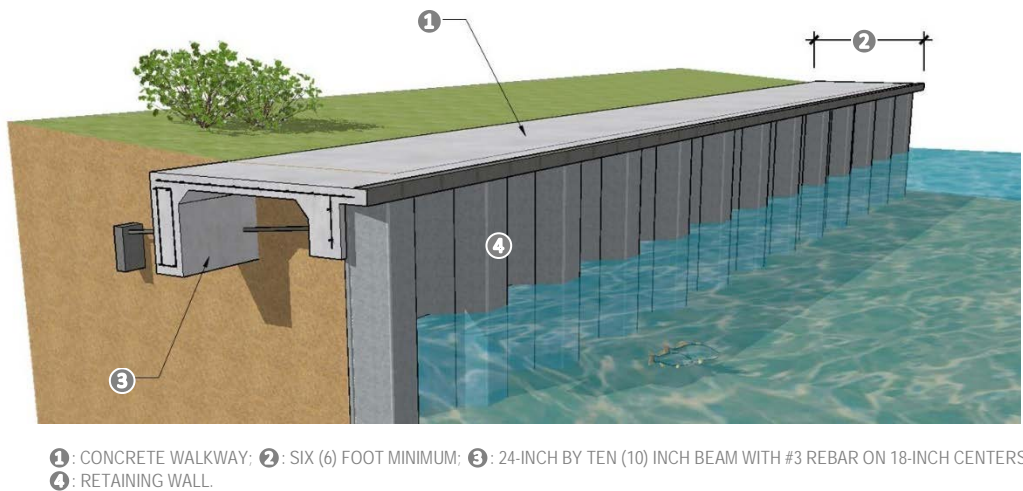
(d) Construction Standards.

- (1) Concrete Cap. A six (6) foot wide concrete cap must be constructed along the entire length of the erosion control structure. In order to allow the backfill material to properly settle, the construction of the concrete cap may be delayed for several weeks/months after the construction of the erosion control structure; however, in no case should the construction of the concrete cap be delayed for a time period exceeding one (1) year from the date of construction of the erosion control structure.

(e) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *seawalls* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *seawall* must comply with all other applicable City of Rockwall codes.

(f) Visual Representation.



(22) Sprinkler/Irrigation System.

- (h) Definition. A sprinkler/irrigation system is an underground irrigation network used to water and maintain trees, shrubs, grounds, and the foundations of improvements.
- (i) Prerequisites. A sprinkler/irrigation system may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (j) Elevation Zone. A sprinkler/irrigation system shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted.
- (3) 425.5: Not Permitted.

Note: The prohibition of sprinkler/irrigation systems in the 425.5 Elevation Zone does not include the pumps or lines necessary to pump raw water, when a property owner has been granted permission to do so from the City of Dallas.

- (k) Conditional Use Standards. A sprinkler/irrigation system must be connected to the leasing property owner's existing water supply source with approved backflow prevention devices.

(l) Construction Standards.

- (1) Building Materials. A sprinkler/irrigation system shall only be constructed utilizing *Schedule 40 PVC* pipe.
- (2) Height. The heads of a sprinkler/irrigation system used for shrubs shall extend no higher than three (3) feet from the average base of the surrounding terrain within a three (3) foot radius of the head.
- (3) Location. A sprinkler/irrigation system shall be allowed up to one (1) foot of the normal pool elevation shoreline (i.e. 435.5) provided no part of the system could potentially result in lake siltation erosion.

- (m) Setback Requirements. A sprinkler/irrigation system must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(n) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *sprinkler/irrigation system* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *sprinkler/irrigation system* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any part of a *sprinkler/irrigation system* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

SUBSECTION 07.05: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT DEVELOPMENT STANDARDS

LAND USE ¹	CONDITIONAL USE REFERENCE SEE SUBSECTION 06.15(J)	PRE-REQUISITES L: SEAWALL, S: SEAWALL, FP: FIXED PIER	ELEVATION ZONES			MINIMUM SIZE (FEET OR SQUARE FEET)	MAXIMUM SIZE (FEET, INCHES, OR SQUARE FEET)	MINIMUM HEIGHT (FEET OR INCHES)	MAXIMUM HEIGHT (FEET)	SIDE YARD SETBACK (FEET)	BUILDING MATERIALS NS: NATURAL STONE B: BRICK C: CONCRETE CM: COMPOSITE MATERIALS GM: GALVANIZED METAL IR: IRON SS: STAINLESS STEEL S: STEEL M: METAL A: ALUMINUM CW: CEDAR RW: REDWOOD IW: IRONWOOD SSM: STANDING SEAM METAL WR: WROUGHT IRON R: RUBBER
			438.0	435.5	425.5						
BARBECUE PIT	(1)	L	P	X	X	3' x 3'	8' x 3'	0'	6'	6'	NS, B, C, AND IR
BOAT HOUSE ^{2, 4, 5, & 15}	(2)	L, S, & FP	X	X	P	8' x 30'	12' x 30'	16'	21'	10'	CM FOR CATWALK AND DECKING; GM, IR, S, OR A FOR THE SUPPORTS ³ ; CM, GM, IR, S, A, CW, IW, OR RW FOR ROOF BEAMS; AND SSM FOR THE ROOF
COVERED PATIO ^{5 & 15}	(3)	L & S ¹⁶	P	P	X	0'	12' x 20'	0'	15' ^{6 & 7}	20'	CW, IW, & RW IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE; SSM FOR THE ROOF
DECK ^{5 & 18}	(4)	L & S ¹⁶	P	P	X	0'	1,000 SF	2' OR 24"	1'	20'	CM FOR THE DECKING, C FOOTINGS FOR FOUNDATION, AND WR FOR FENCING/RAILING
DOCK DECK ^{2 & 5}	(5)	L, S, & FP	X	X	P	8' x 10'	12' x 30'	0'	8' ⁸	10'	CM
FENCE	(6)	L	P	X	X	0'	45'	4'	4'	0'	WR
FLAGPOLE ^{5 & 9}	(7)	L & S ¹⁶	P	P	X	5" BASE	8" BASE	0'	20'	6'	SS OR A
FIXED PIER ^{2 & 5}	(8)	L & S	X	X	P	0'	6' x 40'	0'	8' ¹⁰	10'	CM FOR CATWALK AND DECKING; CM OR S FOR RAILINGS
FIRE PIT	(9)	L & S ¹⁶	P	X	X	3' x 3'	5' x 5'	0'	3'	6'	NS, B, AND C
GAZEBO ^{5 & 15}	(10)	L & S ¹⁶	P	P	X	0'	12' x 12'	0'	15'/18' ^{7 & 11}	20'	CW, RW, IW, CM, OR M IN THE 438.0 ELEVATION ZONE; AND CM OR M IN THE 435.5 ELEVATION ZONE
LANDING AND STAIRS	(11)	L & S ¹⁷	P	P	P	0'	8' x 8' x 6'	3'	SAME AS RETAINING WALL	5'	NS, B, AND C FOR THE STAIRS; WR OR BLACK S FOR THE RAILINGS AND/OR FENCE
PATIO ^{5 & 18}	(15)	L	P	P	X	0'	1,000 SF	0'	1'	20'	NS FOR THE DECK AREA AND WR FOR RAILINGS
PERGOLA ⁵	(16)	L & S ¹⁶	P	P	X	0'	12' x 20'	0'	12' ⁷	20'	CW, RW, IW, OR CM IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE
PICNIC TABLE	(17)	L	P	P	X	0'	8' x 10'	0'	3' OR 36"	6'	NS, B, AND C
PRIVATE PLAY STRUCTURE	(18)	L	P	X	X	0 SF	1,000 SF	0'	8'	20'	A, GM, R, CW, RW, AND IW
PRIVATE WALKWAYS	(20)	L & S ¹⁶	P	P	X	0'	48" WIDE	0'	FLUSH WITH GRADE	10'	NS, B, AND RECTANGULAR PAVERS
LANDSCAPING AND RETAINING WALLS ^{12 & 13}	(22)	L	P	P	X	NOTES: ¹ : FOR ALL LAND USES CHECK SECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT FOR ADDITIONAL REQUIREMENTS AND RESTRICTIONS. ² : BOATHOUSES, FIXED PIERS, DOCK DECKS, OR ANY COMBINATION OF THESE STRUCTURES MAY NOT EXTEND MORE THAN 40-FEET INTO THE WATER FROM THE 435.5 ELEVATION CONTOUR. ³ : REQUIRES A HIP ROOF, A MINIMUM OF 2:1 ROOF PITCH, WITH ONE (1) CUPOLA (3' x 4') IN THE MIDDLE OF THE ROOF OR TWO (2) CUPOLAS (3' x 4') AT EACH END OF THE ROOF. ⁴ : SUPPORT POSTS MAY BE WRAPPED IN A COMPOSITE MATERIAL. ⁵ : THE STRUCTURE SHALL BE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE ON THE LEASING PROEPRTY IF LOCATED IN THE 435.5 OR 425.5 ELEVATION ZONES (IF PERMITTED IN THE ZONE). ⁶ : REQUIRES A HIP OR GABLE ROOF WITH A CUPOLA OR CLERESTORY AND A MINIMUM ROOF PITCH OF 4:1. ⁷ : SHALL NOT EXCEED ONE (1) STORY OR BE USED AS A ROOF TOP DECK.					
MUNICIPAL UTILITIES	(13)	NONE	P	P	P						
OUTDOOR LIGHTING	(14)	L	P	X	X						
PRIVATE UTILITIES	(19)	L	P	P	X						
SEAWALL	(21)	L	X	X	P						
SPRINKLER/ IRRIGATION SYSTEM ¹⁴	(22)	L	P	P	X						

- ⁸: EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN FOUR (4) POLE STRUCTURES ALLOWED.
- ⁹: A MAXIMUM OF TWO (2) FLAG POLES ARE PERMITTED AND ONLY THE UNITED STATES OF AMERICA AND TEXAS FLAGS ARE TO BE FLOWN.
- ¹⁰: EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN TWO (2) POLE STRUCTURES ALLOWED.
- ¹¹: REQUIRES A HIP OR GABLE ROOF OR A HIP AND/OR GABLE ROOF, WITH A MINIMUM ROOF PITCH OF 2:1, AND THAT IS A MAXIMUM OF 15-FEET WITHOUT A CLERESTORY OR CUPOLA OR 18-FEET WITH A CLERESTORY OR CUPOLA.
- ¹²: REMEDIAL LANDSCAPING ALLOWED IN THE 425.5 ELEVATION ZONE WITH THE INTENT TO MAINTAIN THE INTEGRITY OF THE SHORELINE.
- ¹³: RETAINING WALLS THAT ARE A PART OF LANDSCAPING ARE LIMITED TO LESS THAN THREE (3) FEET IN HEIGHT.
- ¹⁴: HEADS SHOULD EXTEND NO HIGHER THAN THREE (3) FEET FROM THE AVREAGE BASE OF THE SURROUND TERRIAN WITHIN A THREE (3) FOOT RADIUS OF THE HEAD.
- ¹⁵: ROOF OVERHANGS SHALL NOT EXCEED 18-INCHES.
- ¹⁶: A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 ELEVATION ZONE.
- ¹⁷: A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 OR 425.5 ELEVATION ZONES.
- ¹⁸: HANDRAILS ARE PROBITED IN THE 435.5 ELEVATION ZONE.

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT, AND CREATING SECTION 07.05, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT DEVELOPMENT STANDARDS, OF ARTICLE 05, DISTRICT DEVELOPMENT STANDARDS, AS DEPCITED IN EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [Ordinance No. 20-02] has been initiated by the City Council of the City of Rockwall to amend Section 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, and create Section 07.05, *Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02]; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Section 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

SECTION 2. That Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, shall be amended to create Section 07.06, *Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards*, as described in *Exhibit 'B'* of this ordinance;

SECTION 3. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 4. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [Ordinance No. 04-38], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 5. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS
THE 4TH DAY OF JANUARY, 2021.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

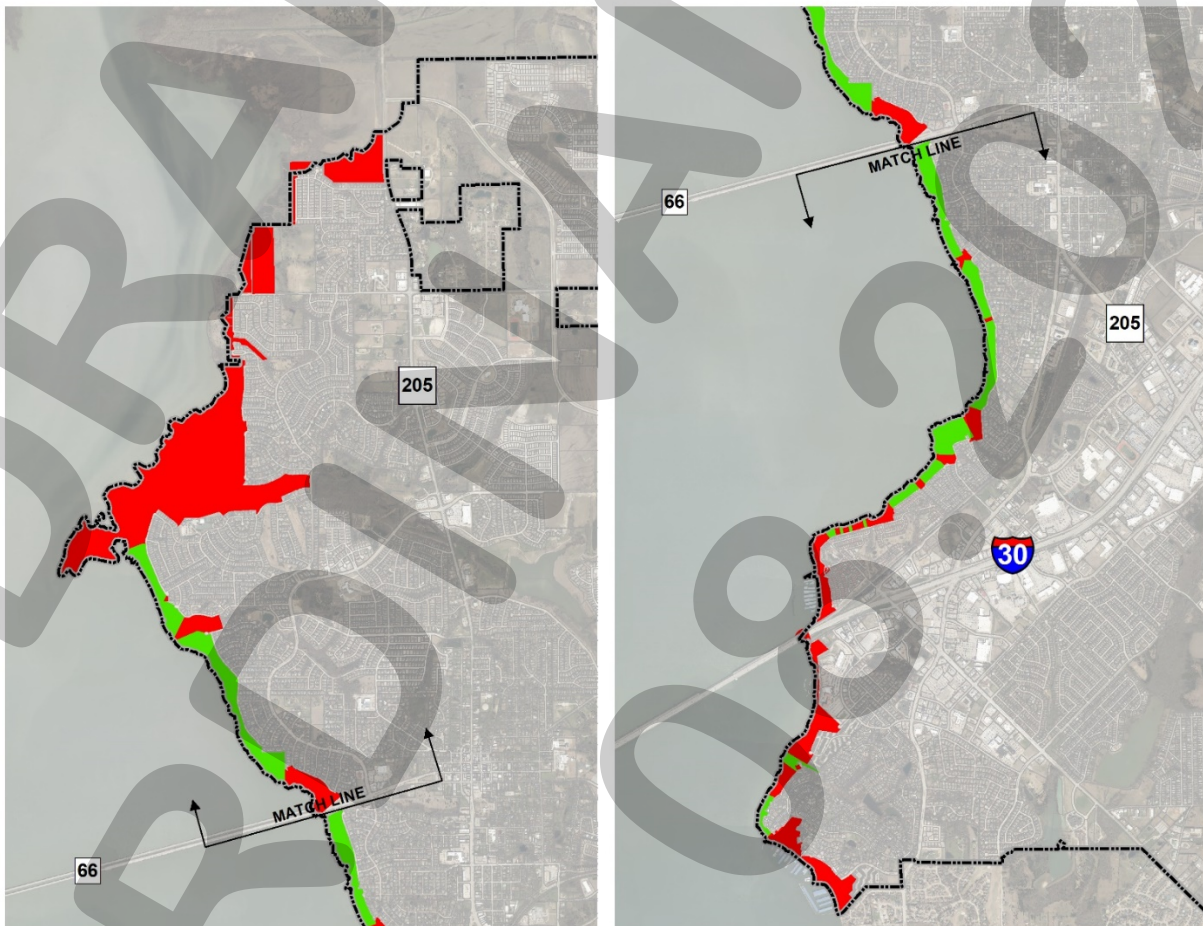
2nd Reading: January 4, 2021

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- (A) Purpose. The purpose of the Lake Ray Hubbard Takeline Overlay (TL OV) District is to permit the development of property along the shoreline of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth the procedures for the development of said property, and establishing an appeal process for the development standards of the district. This zoning district has its basis in and is intended serve as an implementation tool for the Lake Ray Hubbard Master Plan (*adopted by the City of Dallas*), the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the Lake Cities Coalition (*i.e. Garland, Rockwall, and Rowlett*) and the City of Dallas, and the OURHometown Vision 2040 Comprehensive Plan. The adoption of this zoning district is intended to provide a means for the protection of water quality
- (B) Boundaries. The Lake Ray Hubbard Takeline (TL OV) District includes all property that is located between the City of Dallas Takeline as shown on the boundary map for Lake Ray Hubbard (*i.e. File 612D-1 on file in the City of Dallas Records Vault and depicted below in Figure 26, Lake Ray Hubbard Takeline [TL OV] District Map*) and the meandering of the contour line 435.5-foot sea level elevation. In addition, Figure 27: Elevation Contours, shows the elevation zones used to delineate where certain land uses are permitted.

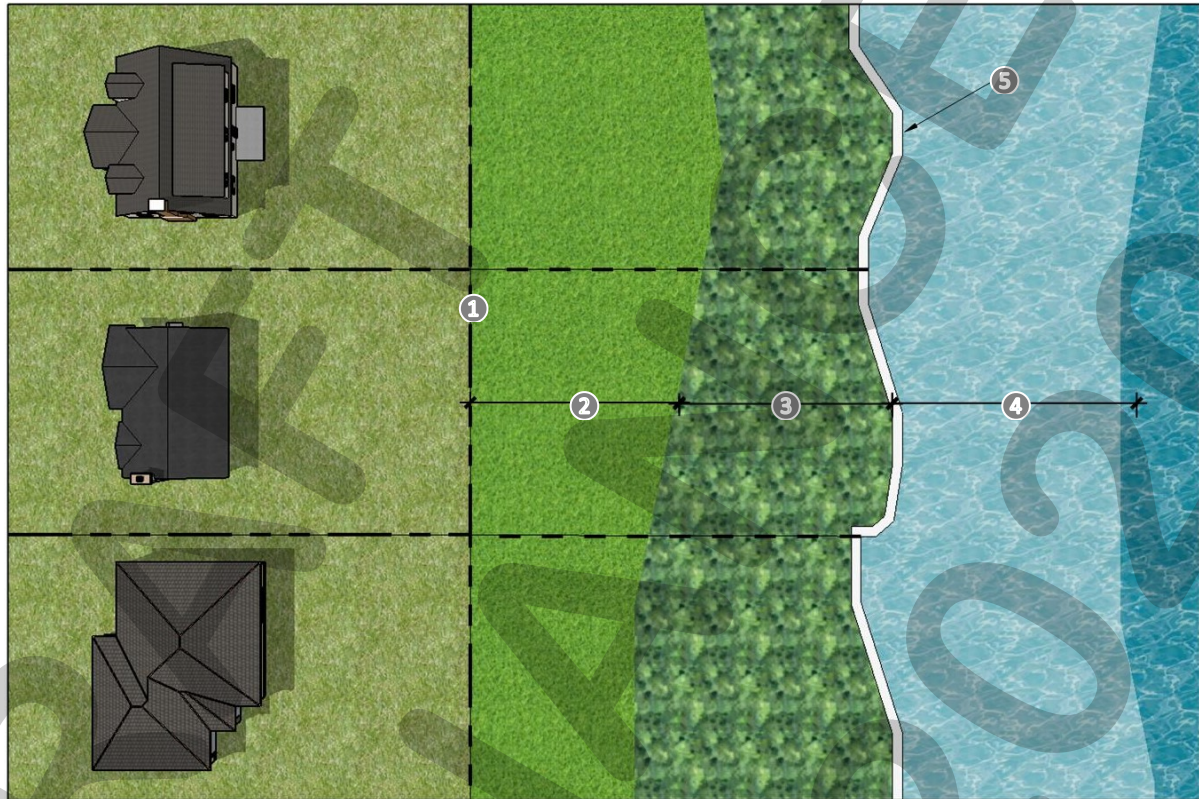
FIGURE 26: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT MAP



RED: NON-LEASEABLE PROPERTY; GREEN: LEASABLE PROPERTY

Exhibit 'A'
Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)

FIGURE 27: ELEVATION CONTOUR ZONES



❶: REAR PROPERTY LINE/TAKE LINE; ❷: 438.0 ELEVATION ZONE; ❸: 435.5 ELEVATION ZONE; ❹: 425.5 ELEVATION ZONE; ❺: SEAWALL;

(C) Applicability.

- (1) Applicable Lots. The standards set forth within Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, shall apply only to those lots within the takeline that are zoned and used for detached, single-family residential land uses, and that either have a minimum lot width of 45-feet when measured at the front building line or a minimum width of 35-feet at the front building line when located on a curved street or cul-de-sac that are eligible to lease. The properties eligible to lease the takeline area are depicted in Figure 26: Lake Ray Hubbard Takeline Overlay (TL OV) District Map above.
- (2) Exceptions for Lots Not Meeting the Applicability Standards. The City Council shall have the authority to consider special exceptions to the eligibility standards set forth within this section that apply to those lots within the Lake Ray Hubbard Takeline Overlay (TL OV) District that are zoned and used for detached, attached, or zero-lot-line single-family residential land uses and meet the minimum lot width requirements as prescribed in Subsection 06.15(B)(1) above.

(D) Definitions. The terms used in this section shall be as defined in this Unified Development Code (UDC), the Lake Ray Hubbard Interlocal Agreement, and the sublease agreements prepared by the City of Rockwall. For specific land use definitions refer to Subsection (J), Specifications for Permitted Land Uses. In addition, the following terms shall be defined as follows:

- (1) Catwalk. The narrow walkway of a dock providing people access to moored watercraft.
- (2) Centerline. An established line that is equidistant from the surface or sides of something (e.g. parcel boundaries).
- (3) Cleat. A metal fitting with two (2) projecting pieces used to wrap a rope around to secure a watercraft in position.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- (4) Dredging. The process of deepening a waterway for the safe and efficient movement of watercraft by the removal of dirt either by digging or by suction.
- (5) Habitable Structure. A structure fit for human habitation usually containing amenities (e.g. fireplace, furniture, plumbing, bathing facilities, and cooking facilities). Structures allowed by this section shall not be habitable structures and may not contain such amenities.
- (6) Lake. Refers to Lake Ray Hubbard.
- (7) Lake Area. The City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the lake at a normal lake pool elevation (i.e. property at or below an elevation of 435.5-feet mean sea level).
- (8) Leased Area. Means the take area that is within the corporate limits of the City of Rockwall, or where the takeline is directly adjacent to the corporate limits of the City of Rockwall.
- (9) Lift. A temporary means of elevating a watercraft out of the water by use of a hoist.
- (10) Locker Box. A secured chest fixed onto a dock used for storage of watercraft equipment.
- (11) Moor. Securing a watercraft to a fixed object such as a fixed cleat on a seawall while the watercraft is still in the water.
- (12) Mooring. A place where a watercraft can be tied up and secured while in the water (e.g. a slip) for not more than 156-consecutive hours.
- (13) Power Source Station. Used as a power supply for lighting a dock just below watercraft level.
- (14) Shoreline. Refers to the line along the shore of the lake, established by the normal lake pool elevations (i.e. 435.5-feet mean sea level).
- (15) Slip. A watercraft's berth between two (2) piers or between finger piers.
- (16) Take or Takeline Area. Refers to the land owned by Dallas between the takeline and the normal lake pool elevations (i.e. 435.5-feet mean sea level).
- (17) Treated Wood. Wood treated by the impregnation or application of chemical solutions or chemical mixtures for the purpose of retarding or preventing deterioration or destruction cause by insects, fungi, bacteria, or other wood destroying organisms.
- (18) View Clear Zone. The area within the view preservation angle where no new structures or plantings shall exceed six (6) feet above the existing grade to maintain neighboring views.
- (19) View Corridor. A sight passage recognized as holding an intangible asset for a property owner and for a community due to the unique visual qualities of distant terrain, woodlands, wetlands, grasslands, skylines, and manmade lakes expressed through a view preservation angle from either a generally recognized center point or various center points along a road corridor or public view area (see Figure Subsection (E): Visual Measurements for View Corridors).
- (20) View Preservation Angle. The angle determined as the line extending from the center point -- or 30-foot point depending on lot size -- along the quarter distance line of the leased area extending back toward the opposite corner where the takeline area crosses the lease area's side yard (see Figure 28: Visual Measurements for View Corridors).
- (21) Watercraft (or Boat). A craft for water transport. Examples of watercrafts are as follows:
 - (a) Motorized Boat. A boat propelled by an internal combustion engine.
 - (b) Sail Boat. A boat with a mast and sail propelled by the wind.

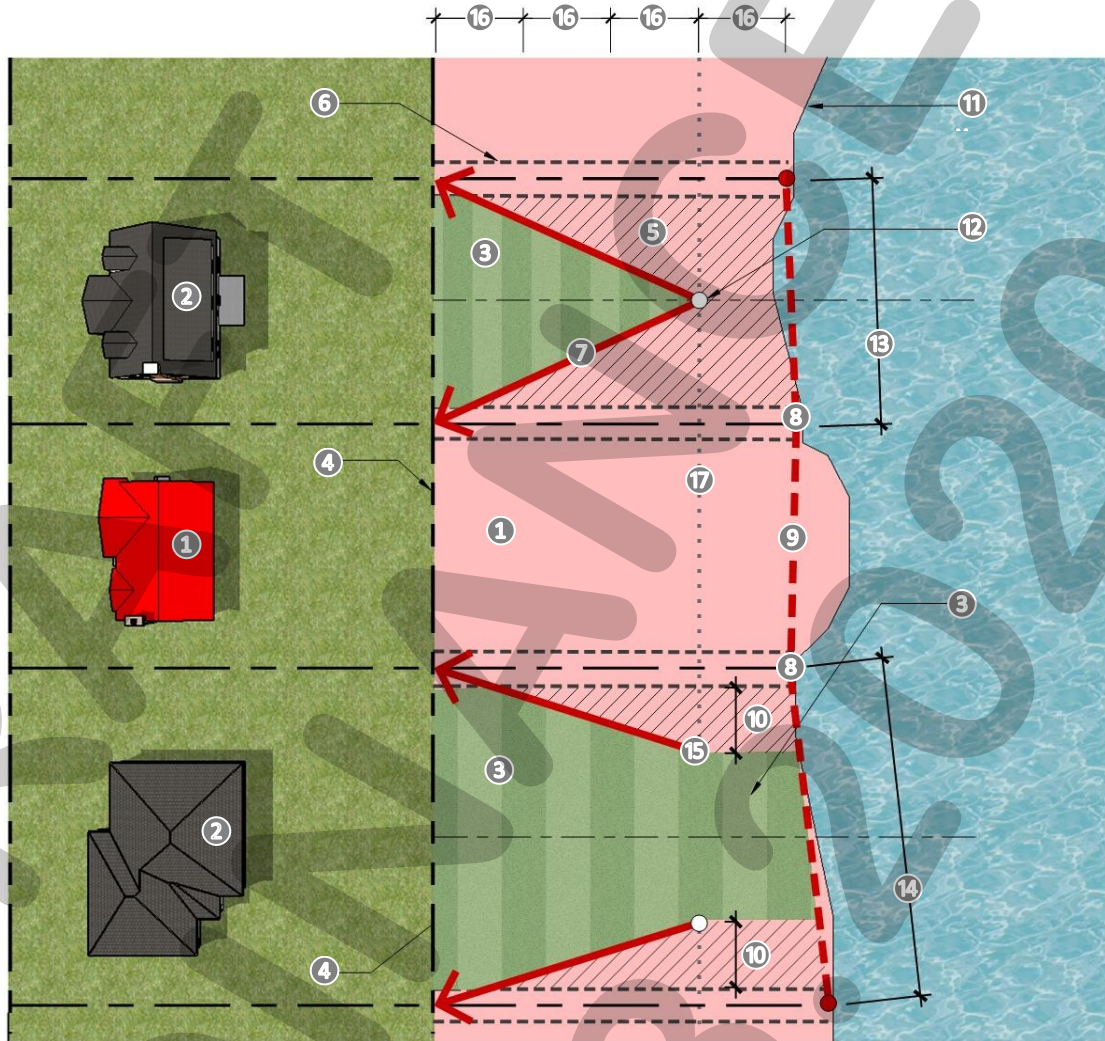
(E) Visual Measurements for View Corridors.

Exhibit 'A'
Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)

- (1) View Corridors. View clear zones are established to protect a property owner's views of the lake and to maintain the aesthetic value of the lake's shoreline. The view clear zones for the takeline areas are established by the shoreline frontage of the takeline lease area. This measurement is determined by projecting the lease areas side yards to the normal pool elevation (*i.e. 435.5-foot mean sea level*), and connecting these two (2) points in a straight line (*see Figure 28: Visual Measurements for View Corridors*). Based on this linear measurement, the view clear zones are determined by the following:
- (a) Lots That Have Less Than 100-Feet of Shoreline Frontage. The view corridor for lots that have less than 100-feet of shoreline frontage is defined by the view preservation angle determined as the quarter distance (*i.e. 25%*) center point from the shoreline frontage line along the centerline of the leasing property owner's side yard with the angle running from the quarter distance center point to the opposite corners where the takeline area crosses the lease area's side yard. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with Subsection (F)(2)(d).
- (b) Lots That Have More 100-Feet or More Shoreline Frontage. The view corridor for lots that have 100-feet or more shoreline frontage are defined by the view preservation angle determined as the quarter distance (*i.e. 25%*) line projected from the shoreline frontage line extending from the leasing property owner's side yard 30-feet along the quarter distance line and running from this point to the opposite corners where the takeline area crosses the lease area's side yard, and in a straight line from the 30-foot point on the quarter distance line to the shoreline frontage line. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with Subsection (F)(2)(d).

Exhibit 'A'
Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)

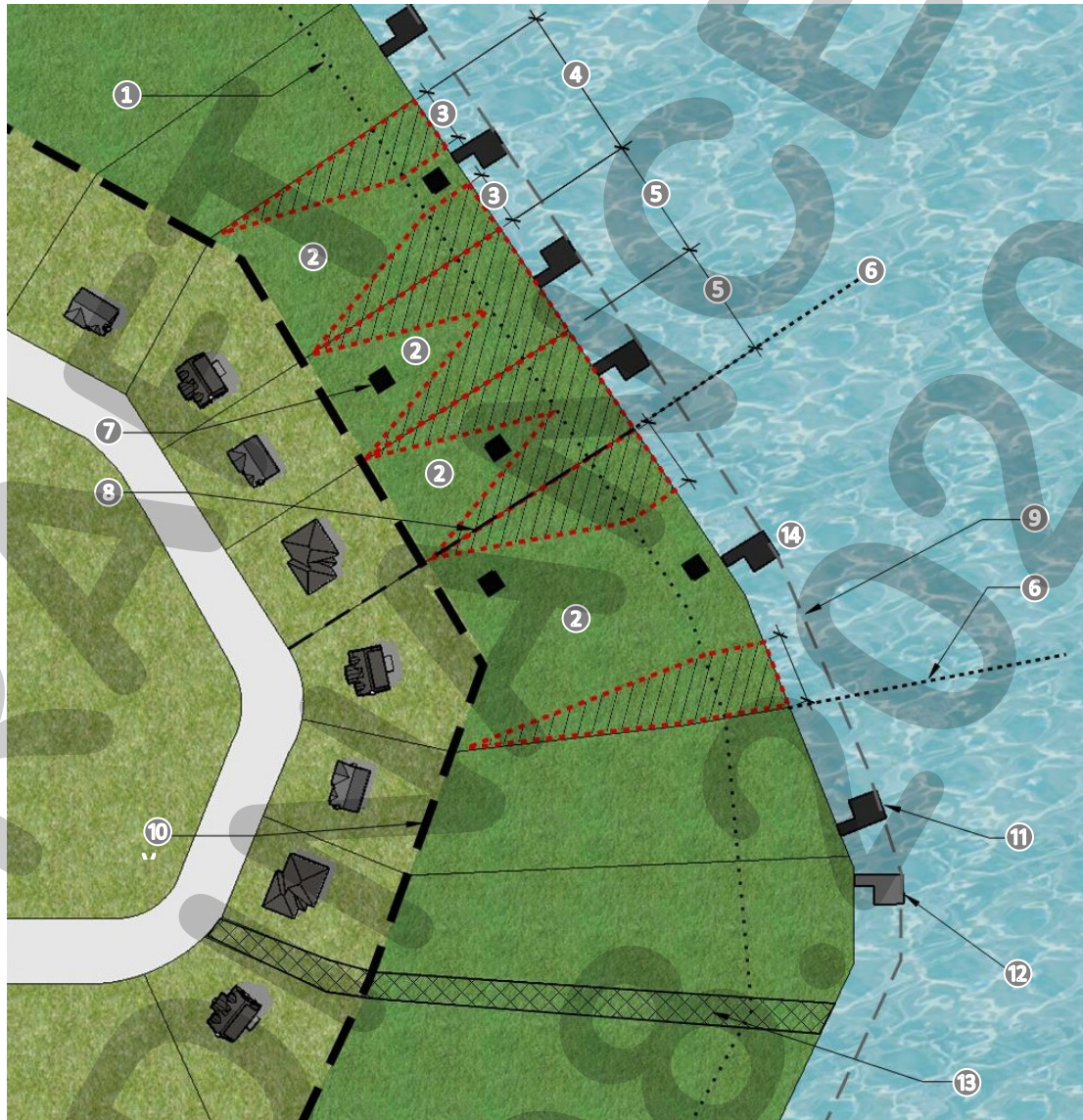
FIGURE 28: VISUAL MEASUREMENTS FOR VIEW CORRIDORS



①: SUBJECT PROPERTY'S AND ITS VIEW CORRIDOR (PINK AREA); ②: NEIGHBORING PROPERTY; ③: NEIGHBORING PROPERTY'S BUILDABLE AREA (GREEN LINED AREA); ④: REAR PROPERTY LINE/TAKELINE; ⑤: VIEW CLEAR ZONE (LINED AREA); ⑥: LEASE AREA SIDE YARD SETBACK; ⑦: VIEW PRESERVATION ANGLE; ⑧: THE INTERSECTION OF THE 435.5 ELEVATION LINE AND THE LEASE AREA'S SIDE YARD; ⑨: SHORELINE FRONTAGE LINE (ESTABLISHED BY CONNECTING THE TWO [2] ③ POINTS IN A STRAIGHT LINE); ⑩: 30-FOOT; ⑪: SHORELINE; ⑫: CENTER POINT AT THE QUARTER DISTANCE LINE; ⑬: A LOT WITH A SHORELINE FRONTAGE LESS THAN 100-FEET; ⑭: A LOT WITH A SHORELINE FRONTAGE 100- FEET OR MORE; ⑮: 30-FOOT POINT ON THE QUARTER DISTANCE LINE; ⑯: 25% OF THE TAKELINE AREA; ⑰: QUARTER DISTANCE LINE.

Exhibit 'A'
Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
Unified Development Code (UDC)

FIGURE 29: EXAMPLES OF VISUAL MEASUREMENTS FOR VIEW CORRIDORS AND STRUCTURE PLACEMENT



①: QUARTER DISTANCE LINE; ②: BUILDABLE AREA; ③: 30-FOOT; ④: A LOT WITH A SHORELINE FRONTAGE LINE 100-FOOT OR MORE; ⑤: A LOT WITH A SHORELINE FRONTAGE LINE LESS THAN 100-FOOT; ⑥: LEASE AREA'S PROJECTED SIDE YARD; ⑦: STRUCTURE BUILT IN THE 438.0 ELEVATION ZONE; ⑧: LEASE AREA'S SIDE YARD; ⑨: 40-FOOT BUILDING LINE; ⑩: REAR PROPERTY LINE/TAKELINE; ⑪: EXISTING BOATHOUSE; ⑫: BOATHOUSE LOCATION APPROVED ADMINISTRATIVELY BECAUSE OF DRAINAGE EASEMENT AND CLUSTERED WITH AN EXISTING BOATHOUSE; ⑬: DRAINAGE EASEMENT; ⑭: BOATHOUSE AND STRUCTURE IN THE 435.5 ELEVATION ZONE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE.

(F) General Requirements. The following general requirements shall apply for all property in the takeline area.

(1) Number of Permitted Structures. The following is the maximum number of structures that shall be permitted in each elevation zone (NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (J), Specifications for Permitted Land Uses that exceeds six [6] feet in height):

- (a) 438.0 Elevation Zone: Two (2) structures shall be permitted in the 438.0 Elevation Zone.
- (b) 435.5 Elevation Zone: One (1) structure shall be permitted in the 435.5 Elevation Zone.

Exhibit 'A'

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- (2) General Location of Permitted Structures. The following requirements relate to where structures should be generally located in each elevation zone (NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (J), Specifications for Permitted Land Uses that exceeds six [6] feet in height):
- (a) 438.0 Elevation Zone: Structures in the 438.0 Elevation Zone should be located outside of the view clear zones unless specifically permitted to be in the view clear zone by Subsection (J), Specifications for Permitted Land Uses.
 - (b) 435.5 Elevation Zone: Structures in the 435.5 Elevation Zone should be generally centered in the lease area -- equal distance from both leased side yard boundary lines -- behind the primary structure on the leasing property and outside of the view clear zones unless specifically permitted to be in the view clear zone by Subsection (J), Specifications for Permitted Land Uses.
 - (c) 425.5 Elevation Zone: Structures located in the 425.5 Elevation Zone should be generally centered along the shoreline -- equal distance from both the leased side yard boundary lines -- behind the primary structure of the leasing property.
 - (d) Administrative Exception for the 435.5 & 425.5 Elevation Zone. In cases where it is [1] not feasible to construct a structure in the center of the lease area or along the shoreline, [2] will increase the view corridor or benefit the surrounding properties by not centering a structure in the lease area, or [3] where centering the structure will create an undue hardship to the property owner leasing the lease area, the Director of Planning and Zoning or his/her designee may approve an administrative exception to allow an alternate location that is not generally centered in the lease area as long as the location for the proposed structure is outside of the view clear zone. In approving these requests, the Director of Planning and Zoning or his/her designee shall consider the impact of the proposed structure on the adjacent property owners.
- (3) Building Materials. The permitted building materials shall be as stipulated in Subsection (J), Specifications for Permitted Land Uses, and as permitted by the City Council through a Specific Use Permit (SUP); however, the use of canvas, cloth, or like materials shall be prohibited within the takeline area. In addition, loose ground materials (e.g. sand, fill, pea gravel) that could be used for trails, paths, play areas, active sports activities, or as exposed landscape bedding material are prohibited.
- (4) Trees. In order to plant or remove a tree in the takeline area, a *Treescape Plan* showing the exact location, size (i.e. trunk diameter and height), and common name of the tree to be planted or removed will be required to be submitted to the Parks and Recreation Department. A permit to plant or remove a tree may be approved administratively by the Director of Parks and Recreation or his/her designee, or forwarded to the Parks and Recreation Board for approval. In reviewing a request to plant or remove a tree, the following criteria shall apply:
- (a) Planting Trees. Trees are permitted to be planted within the 438.0 Elevation Zone pending they are [1] not a variety specifically listed in the prohibited tree list contained in Section 03, Tree Planting Guidelines and Requirements, of Appendix C, Landscaping Guidelines and Requirements, and [2] they are not located within the view clear zone outlined Subsection (E), Visual Measurements. The Director of Parks and Recreation or his/her designee may grant an exception to allow a tree to be planted in the view clear zone where it is determined that the tree will not decrease the visibility of the lake or shoreline for the adjacent properties. In making this determination, the Director of Parks and Recreation shall consider the size of the proposed tree at maturity.
 - (b) Removing Trees. Trees are permitted to be removed only if they are determined to be damaged or diseased, or if they create a hazardous or dangerous condition that could endanger the public health, safety or welfare of the general public.
- (5) Temporary Structures in the Takeline Area. Temporary structures (e.g. portable residential barbecue grills and ranges, trampolines, etc.) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with Subsection 06.15(J)(6).
- (G) Residential Sublease Agreement. A *Residential Sublease Agreement* is an agreement between a property owner and the City of Rockwall that grants the property owner certain rights to the exclusive use of the takeline area. A *Residential Sublease Agreement* shall be required to build certain structures within the takeline area. It shall be a violation of the zoning

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code to build or maintain a structure in the takeline area without a valid *Residential Sublease Agreement*. An owner in violation of this section shall be subject to the requirements of Section 01, Penalties, of Article 12, Enforcement, of the Unified Development Code (UDC). The following shall be the costs associated with a *Residential Sublease Agreement*:

Lease	Fees
New Lease (<i>i.e. New Never Leased by Current Owner</i>) ²	\$200.00
Annual Renewal of a Lease	\$100.00
Change of Ownership of a Valid Lease	\$50.00
Reinstatement of an Expired Lease (<i>i.e. Same Property Owner</i>) ³	\$500.00

NOTES:

- ¹: To be subject to these new fees, a new lease entered into after January 4, 2021 will be required (*i.e. the effective date of the amendment adopting these fees*).
- ²: A lease is considered to be new under the following circumstances: [1] the property has never had a valid lease agreement, or [2] the property had a valid lease under different ownership but that lease agreement expired prior to the current owner taking possession of the property.
- ³: A lease is considered to be a reinstatement when it lapses or expires under the current ownership, and then the same owner requests a new lease.

- (H) Permitted Uses. All of the uses permitted within the *Lake Ray Hubbard Takeline Overlay (TL OV) District* shall adhere to all other applicable codes and permitting requirements of the City of Rockwall. For a list of permitted land uses see Subsection (J), Specifications for Permitted Land Uses, or Subsection 07.05, Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards.
- (I) Specific Use Permits (SUPs). A Specific Use Permit (SUP) may be requested for: [1] any use that is not listed in Subsection (J), Specifications for Permitted Land Uses or [2] any structure that does not adhere to the requirements stipulated for that use or structure as required by Subsection (J), Specifications for Permitted Land Uses; however, a request for a Specific Use Permit (SUP) cannot be requested if a dimensional, material, size, or location standard stipulated in Subsection (J), Specifications for Permitted Land Uses, or Subsection (F), General Requirements, is expressly prohibited. In addition, no requests can be made that violate the view corridor requirements stipulated in Subsection (E), Visual Measurements. A Specific Use Permit (SUP) may be requested for water related land uses that are not specifically addressed in Subsection (J), Specifications for Permitted Land Uses, (*e.g. jet ski lift*) pending the applicant provides a letter of consent from the City of Dallas prior to making the application. In considering a Specific Use Permit (SUP) request, the City Council shall consider how the proposed request [1] impacts adjacent properties, and [2] adheres to the intent of the Lake Ray Hubbard Takeline Overlay (TL OV) District.
- (J) Specifications for Permitted Land Uses. See Subsection 07.05, Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards, for a summary of the development standards for each of the following conditional uses.
- (1) Barbecue Pit.
- (a) Definition. A barbecue pit is a permanent fireplace structure over which meat, poultry and other foods are roasted (*for Fire Pit see Subsection 06.15(J)(9)*).
- (b) Prerequisites. A barbecue pit may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A barbecue pit shall be allowed in the following zones:
- (1) 438.0: Permitted.
- (2) 435.5: Not Permitted.
- (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A barbecue pit can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (*i.e. natural gas or propane*).
- (e) Construction Standards.
- (1) Building Materials. A barbecue pit must be constructed utilizing a combination of natural stone, brick, concrete, and/or iron grating.
- (2) Height. A barbecue pit shall not exceed a maximum of six (6) feet in height.

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- (3) Size. A *barbecue pit* shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a *barbecue pit* should not exceed a maximum size of eight (8) feet in length by three (3) feet in width.
- (f) Setback Requirements. A *barbecue pit* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a *barbecue pit* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *barbecue pit* must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.



- ❶: A MINIMUM AND MAXIMUM OF THREE (3) FEET IN LENGTH;
❷: A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF EIGHT (8) FEET IN WIDTH;
❸: A MAXIMUM OF SIX (6) FEET;

- (2) Boathouse.
- (a) Definition. A *boathouse* is a roofed structure affixed to the end of an adjoining *fixed pier*, with a main waterside opening, containing an operating boatlift, and which is built to house and protect a watercraft and boat related equipment.
 - (b) Prerequisites. A *boathouse* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed a *fixed pier*.
 - (c) Conditional Use Standards. *Boathouses* are used for storing boats that have a fuel efficiency rating greater than 95%; however, boathouses may also be used to store sailboats. *Boathouses* will not be used for storing any other type of items except boats and boat-related equipment. In addition, *Boathouses* shall not be used as a habitable dwelling structure, or shelter for domestic or wild animals. All *boathouses* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth

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decided by a structural engineer; however, a *boathouse* shall not be designed to prevent public access to an area of water. Accessories placed on the flat surface of a *boathouse* or catwalk must be placed in an orderly manner that allows for the safe movement of people.

(d) Elevation Zone. A *boathouse* shall be allowed in the following zones:

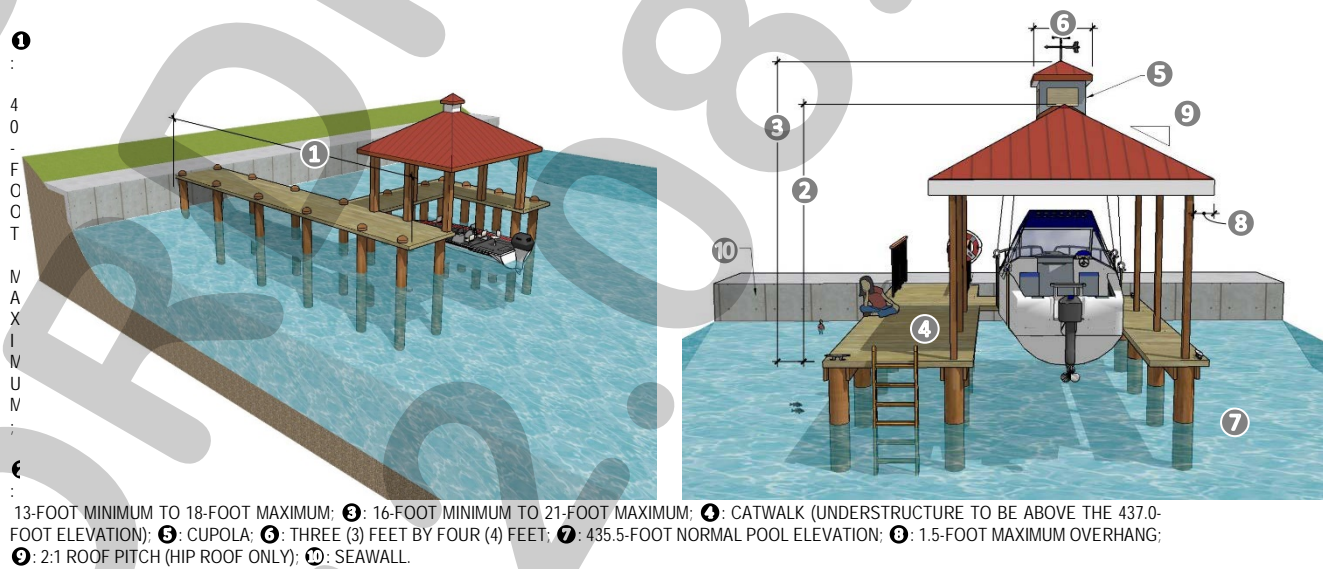
- (1) 438.0: Not Permitted.
- (2) 435.5: Not Permitted.
- (3) 425.5: Permitted.

(e) Construction Standards.

- (1) Building Materials. All *boathouse* constructed below the 437.0-foot mean sea level contour shall use only pilings and materials approved by the City of Rockwall and the City of Dallas. *Boathouses* shall be constructed utilizing composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with high-tech plastic materials*) -- *products equivalent to Trex brand are preferred* -- for decking, galvanized metal/iron/steel or aluminum (*with a minimum color rating of AAMA 2604*) for the support posts, all aforementioned materials and cedar or iron wood for the roof beams, and standing seam metal for the roof with a pre-finished color. Support posts may be wrapped in composite material. Water repellant sealants shall not be used to treat any cedar or ironwood used for roof beams. All fasteners binding materials together must be made out of stainless steel.
- (2) Height. A *boathouse* shall be a minimum of 16-feet and a maximum of 21-feet in height as measured from the top of the fixed pier's catwalk to the vertex of the *boathouse's* cupola; however, in no case should a *boathouse* exceed one (1) story in height.
- (3) Size. The footprint of the exterior sides of a *boathouse* will measure a minimum of eight (8) feet in width by 30-feet in length and a maximum of 12-feet in width and 30-feet in length. *Boathouses* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (*i.e. 435.5*).
- (4) Roof. A *boathouse* will have a hip roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] two (2) cupolas each with hip roofs at either end of the top of the main hip roof. Cupolas will be designed to allow updraft air and winds to vent outward, and shall measure three (3) feet by four (4) feet. All *boathouse* roofs shall be built with a minimum of a 2:1 roof pitch and will not have an overhang greater than 18-inches. *Boathouses* shall not incorporate a deck or platform.
- (5) Lighting. Interior lighting for a *boathouse* will be directed downward from the ceiling of the structure and at the stored watercraft. Exterior lighting for a *boathouse* will be directed downwards toward the fixed pier with light fixtures incorporated either into the roof's overhang or the structure's columns. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public.
- (6) Additional Construction Standards.
 - (a) Deck Ladder. A deck ladder is permitted to be constructed inside a *boathouse*.
 - (b) Storage Unit. A *boathouse* can incorporate one (1) storage unit measuring 72-inches in length by 20-inches in depth by 20-inches in height. Storage units shall be placed on the outer dockside, and shall only be used for storing boat-related equipment. The storage of fossil fuels and/or hazardous materials is prohibited.
 - (c) Boat or Watercraft Lift(s). A *boathouse* must incorporate either one (1) regular boat lift or two (2) personal watercraft boat lifts. All boat or watercraft lifts must be able to hoist a watercraft above the 438.0-foot mean sea level contour, and be maintained in good operating condition. All watercrafts must be stored under the roof of the *boathouse*.
 - (d) Pilings. The approved pilings used to support a *boathouse* must be built up to at least 17-inches above the normal pool elevation of 435.5-feet mean sea level. Vertical rub rails are required on all concrete piers and pilings.
 - (e) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-feet mean sea level.
 - (f) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue,

or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

- (7) Location. All *boathouses* are required to be located in the water of the *Lake*. View corridor restrictions do not apply to *boathouses*; however, a *boathouse* should generally be located in line with the primary structure on the leasing property (i.e. *generally centered on the lot*). *Boathouses* shall not be designed to prevent or restrict public access to any portion of water within the *Lake*.
- (f) Setback Requirements. A *boathouse* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-feet
 - (2) Leased Side Yard Setback: 10-feet
 - (3) Maximum Distance from Seawall: 40-feet
- (g) Additional Requirements.
 - (1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *boathouse* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-feet mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.
 - (2) Compliance with Applicable Codes. A *boathouse* must comply with all other applicable City of Rockwall codes.
 - (3) Address. All *boathouses* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.
 - (4) Easement Protection. No *boathouse* shall encroach into an existing or identified future easement, right-of-way, access road, or path.
- (h) Visual Representation.



- (3) Covered Patio.

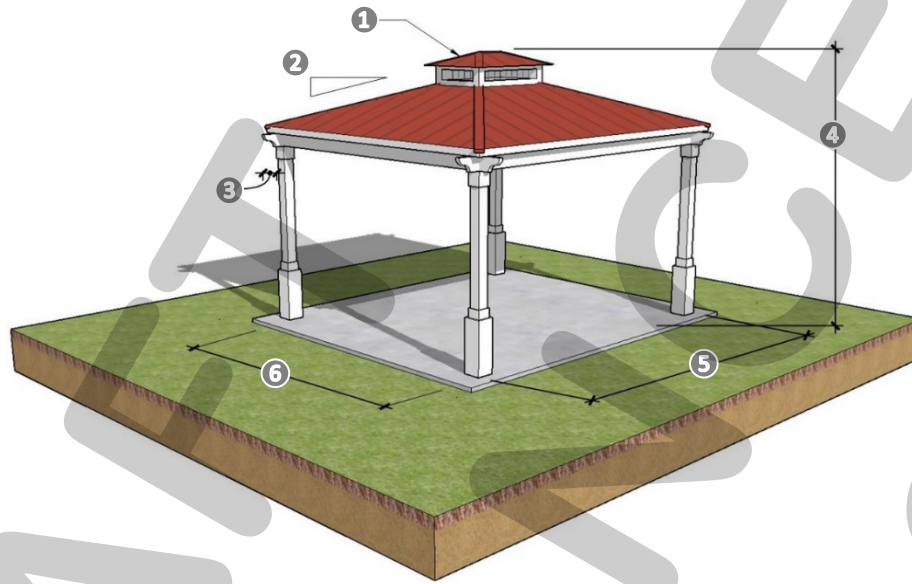
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- (a) Definition. A covered patio is a standalone structure that provides shade and/or rain coverage for a patio or deck. Covered patios have a solid roof.
- (b) Prerequisites. A covered patio may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A covered patio shall be allowed in the following zones:
- (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A covered patio shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.
- (e) Construction Standards.
- (1) Building Materials. A covered patio must be constructed utilizing cedar, redwood, ironwood, composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. The roof of the structure should generally match the color of the roof on the primary structure, and be constructed using clay tiles, standing seam metal, slate shingles, concrete shingles, or ceramic shingles. Canvas, cloth, or mesh attachments to the structure shall be prohibited.
 - (2) Height. A covered patio shall not exceed a maximum height of 15-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the mid-point of the pitched roof.
 - (3) Size. A covered patio shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.
 - (4) Roof. A covered patio will have a hip or gable roof with either: [1] one (1) cupola with a hip roof centered at the top of the main hip roof, or [2] a clerestory built into the center of the main hip roof. Cupolas and clerestories will be designed to allow updraft air and winds to vent outward, and shall be proportional to the main roof. All covered patios should be built with a minimum of a 4:1 roof pitch. The roof shall not have an overhang greater than 18-inches.
 - (5) Location. A covered patio located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. Covered patios shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A covered patio must adhere to the following setbacks:
- (1) Takeline Setback: 6-Feet (*from the Concrete Cap of the Seawall*)
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a covered patio must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A covered patio must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The covered patio shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.

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❶: CUPOLA OR CLERESTORY; ❷: 4:1 MINIMUM ROOF PITCH; ❸: 18-INCHES MAXIMUM OVERHANG; ❹: 15-FEET MAXIMUM HEIGHT; ❺: 20-FEET MAXIMUM; ❻: 12-FEET MAXIMUM;

(4) Deck.

- (a) Definition. A *deck* is a roofless structure anchored to the ground that consists of planks running in a horizontal pattern and creating a flat surface area.
- (b) Prerequisites. A deck may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a seawall along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A deck shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a Seawall has been constructed).
 - (3) 425.5: Not Permitted (see Dock Deck in Subsection 06.15(J)(5)).
- (d) Conditional Use Standards. A deck shall not incorporate walls or other none transparent structures to function as handrails or counter space.
- (e) Construction Standards.
 - (1) Building Materials. A deck must be constructed of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material). Handrails incorporated into a deck in the 438.0 Elevation Zone shall be made of wrought iron or decorative metal. Handrails are not permitted in the 435.5 Elevation Zone.
 - (2) Height. A deck shall not exceed a maximum height of 24-inches above grade.
 - (3) Size. A deck shall not exceed a maximum area of 1,000 SF.
 - (4) Location. A deck located within the 435.5 Elevation Zone shall generally be located in line with the primary structure on the leasing property. Decks shall not be placed in the view clear zone of a neighbor's view corridor.
 - (5) Foundation. A deck shall be anchored into the ground using concrete posts and footings as a foundation appropriate for the load and size of the proposed deck.
- (f) Setback Requirements. A deck must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet

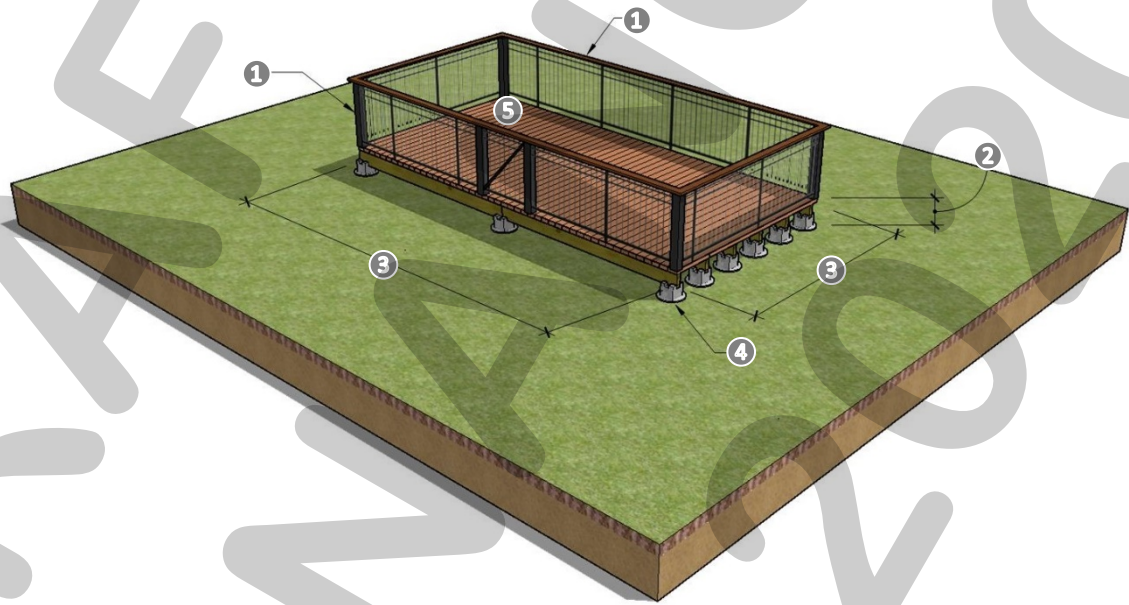
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(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *deck* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *deck* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The *deck* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



①: WROUGHT IRON OR DECORATIVE METAL; ②: MAXIMUM OF 24-INCHES OR TWO (2) FEET ABOVE GRADE; ③: (L) X (W) SHALL NOT BE GREATER THAN 1,000 SF; ④: CONCRETE POSTS AND FOOTINGS FOR FOUNDATION; ⑤: COMPOSITE DECKING MATERIALS.

(5) Dock Deck.

- (a) Definition. A *dock deck* is a flat floor surface area built over the water adjoining the end of a *fixed pier*.
- (b) Prerequisites. A *dock deck* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed *fixed pier*.
- (c) Elevation Zone. A *dock deck* shall be allowed in the following zones:
 - (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Items that can be securely attached to the edge of a *dock deck* include the following: [1] a personal watercraft swing lift, [2] benches, [3] dock deck lighting that is either embedded in or on a pole, [4] locker box, and/or [5] power source station. A table may also be placed on the edge or in the center of a *dock deck*. A watercraft is only allowed to moor at any portion of a *dock deck* for no more than 156-consecutive hours during any given week. All *dock decks* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *dock deck* shall not be designed to prevent public access to an area of water. *Dock decks* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories

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placed on the flat surface of a *dock deck* or catwalk must be placed in an orderly manner that allows for the safe movement of people.

(e) Construction Standards.

(1) Building Materials. The catwalk and/or *dock deck* and any benches built on these structures shall utilize only composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Any railings built on a *dock deck* shall be constructed of composite materials (e.g. *wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*) or steel tubing railings. *Dock decks* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Dock decks* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *dock decks* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall not be used.

(2) Height. No pole structures incorporated into a *dock deck* shall be higher than eight (8) feet above the flat floor surface with no more than four (4) pole structures allowed.

(3) Size. The footprint of the exterior sides of a *dock deck* adjoining a fixed pier shall be a minimum of eight (8) feet by ten (10) feet (i.e. 80 SF) and a maximum of 12-feet by 30-feet (i.e. 360 SF). *Dock decks* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).

(4) Lighting. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of a *dock deck* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed along the periphery of a *dock deck*.

(5) Additional Construction Standards.

(a) Pilings. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-feet mean sea level. Vertical rub rails are required on all concrete piers and pilings.

(b) Catwalks. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-feet mean sea level.

(c) Safety Reflectors. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

(6) Location. View corridor restrictions do not apply to *dock decks*. *Dock decks* shall not be allowed on land.

(f) Setback Requirements. A *dock deck* must adhere to the following setbacks:

(1) Takeline Setback: 0-feet

(2) Leased Side Yard Setback: 10-feet

(3) Maximum Distance from Seawall: 40-feet

(g) Additional Requirements.

(1) Dredging. Dredging of the lake area is allowed for the berthing of a motorized boat into a *dock deck* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-feet mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas,

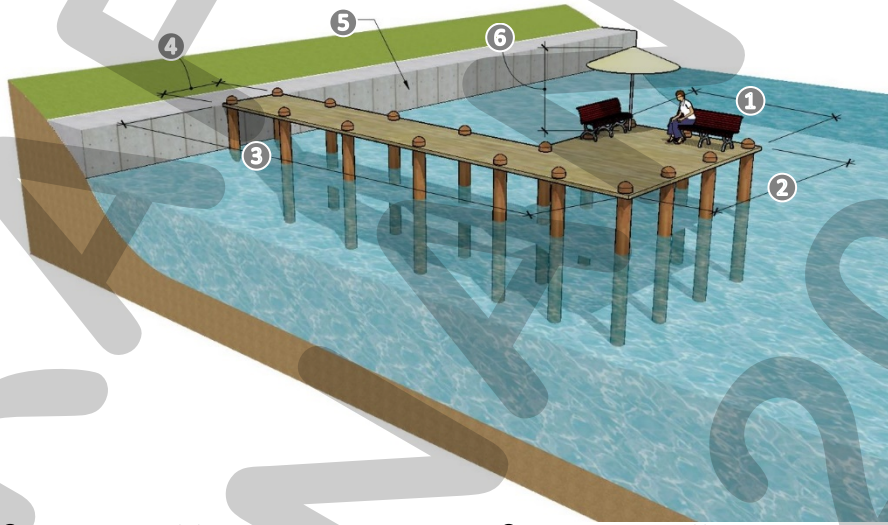
Exhibit 'A'

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US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

- (2) Compliance with Applicable Codes. A dock deck must comply with all other applicable City of Rockwall codes.
- (3) Address. All dock decks shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the Lake to be recognizable for waterside public safety and emergency personnel.
- (4) Easement Protection. No dock deck shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.

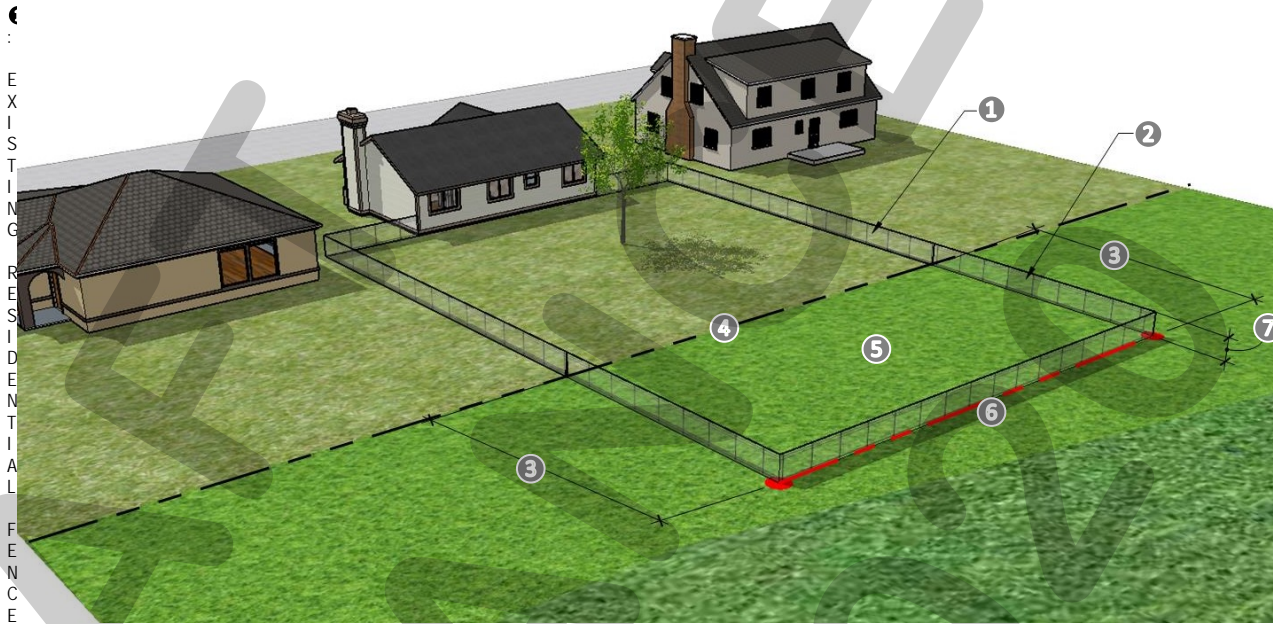


①: MINIMUM OF TEN (10) FEET AND A MAXIMUM OF 30-FEET; ②: MINIMUM OF EIGHT (8) FEET AND A MAXIMUM OF 12-FEET; ③: 40-FOOT MAXIMUM; ④: SIX (6) FOOT MAXIMUM; ⑤: SEAWALL; ⑥: EIGHT (8) FOOT MAXIMUM;

(6) Fence.

- (a) Definition. A fence is a barrier, railing, or other upright structure, enclosing a specific area to mark a boundary or control access.
- (b) Prerequisites. A fence may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A fence shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A fence shall only be allowed to enclose an area beginning at the *Takeline* corners (i.e. the rear property line corners of the property leasing the take area), extending 45-feet along the lease line, and connecting the two (2) points in a straight line (see example below).

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ON THE LEASING PROPERTY: ②: WROUGHT IRON OR BLACK TUBULAR STEEL FENCE; ③: MAXIMUM OF 45-FEET ALONG THE LEASE LINE OF THE TAKELINE; ④: REAR PROPERTY LINE/BEGINNING OF THE TAKELINE; ⑤: 438.0 ELEVATION ZONE; ⑥: THE STRAIGHT-LINE CONNECTION BETWEEN THE TWO (2), 45-FOOT POINTS; ⑦: MAXIMUM OF 48-INCHES OR FOUR (4) FEET.

(e) Construction Standards.

- (1) Building Materials. A fence shall only be constructed of wrought iron or black tubular steel.
- (2) Height. A fence shall not exceed a maximum height of 48-inches from grade.
- (3) Location. A fence shall not be placed in the view clear zone of a neighbor's view corridor.

(f) Setback Requirements. A fence must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

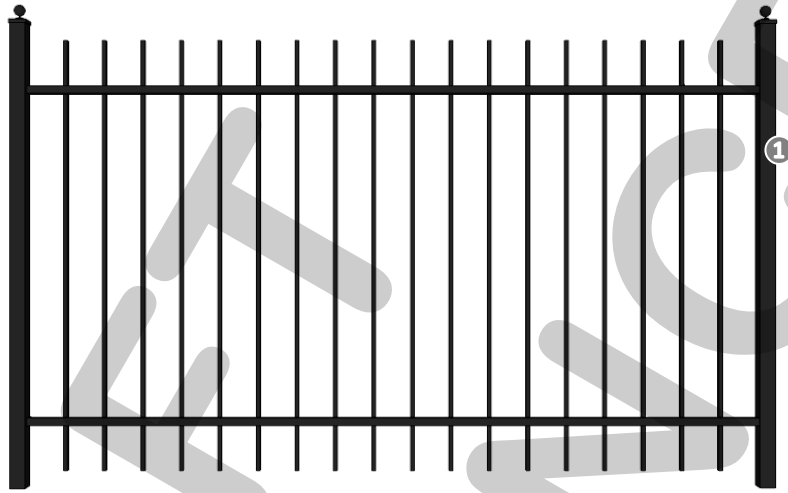
(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a fence must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A fence must comply with all other applicable City of Rockwall codes.

(h) Visual Representation.

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❶: FOUR (4) FOOT WROUGHT IRON FENCE

(7) Flagpole.

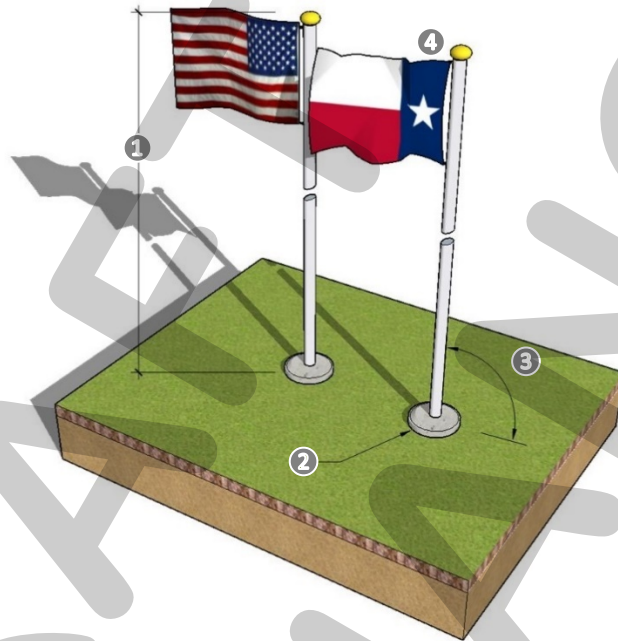
- (a) Definition. A flagpole is an upright pole or staff, constructed at a 90-degree angle to the finished grade, which is used to raise a flag.
- (b) Prerequisites. A flagpole may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A flagpole shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A maximum of two (2) flagpoles, with one (1) flag on each pole shall be permitted within a lease area. The United States of America and State of Texas flags measuring a maximum of six (6) feet by four (4) feet will be the only flags permitted to be flown along the takeline. Lighting in association with a flagpole shall be prohibited.
- (e) Construction Standards.
 - (1) Building Materials. A flagpole shall only be constructed of either stainless steel or aluminum.
 - (2) Height. A flagpole shall not exceed a maximum height of 20-feet from grade.
 - (3) Size. At the ground base a flagpole shall measure a minimum size of five (5) inches and a maximum size of eight (8) inches.
 - (4) Location. A flagpole located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. Flagpoles shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A flagpole must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a flagpole must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A flagpole must comply with all other applicable City of Rockwall codes.

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- (3) Emergency Response. The *flagpole* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



①: MAXIMUM OF 20-FEET FROM GRADE; ②: AT THE BASE THE FLAGPOLE CAN BE A MINIMUM OF FIVE (5) INCHES AND A MAXIMUM OF EIGHT (8) INCHES; ③: MAINTAINED TO BE 90-DEGREES FROM GRADE; ④: FLAGPOLES ARE PERMITTED ONE (1) FLAG A MAXIMUM OF FOUR (4) FEET BY SIX (6) FEET;

(8) Fixed Pier.

- (a) Definition. A *fixed pier* is a structure with a catwalk that extends from the shoreline out into the body of water with the structure being used to moor and land watercraft.
- (b) Prerequisites. A *fixed pier* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, and has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A *fixed pier* shall be allowed in the following zones:
- (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.
- (d) Conditional Use Standards. Each eligible property adjacent to the takeline will be permitted one (1) fixed pier with an adjoining dock deck and/or boathouse. *Fixed piers* can be designed to be in an 'I', 'T', 'L' or 'U' shape (see Subsection 06.15(J)(8)(h)). Items that can be securely attached to the edge of a *dock deck* include the following: [1] a personal watercraft swing lift, [2] benches, [3] cleats, [4] dock lighting, [5] locker box, and/or [6] power source station. A watercraft is only allowed to moor at any portion of a *fixed pier* for no more that 156-consecutive hours during any given week. All *fixed pier* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *fixed pier* shall not be designed to prevent public access to an area of water. *Fixed piers* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories placed on the flat surface of a catwalk of a *fixed pier* must be placed in an orderly manner that allows for the safe movement of people.
- (e) Construction Standards.

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- (1) **Building Materials.** The catwalk and any benches built on these structures shall utilize only composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material). Any railings built on a *fixed pier* shall be constructed of composite materials (e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material) or steel tubing railings. *Fixed piers* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Fixed piers* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *fixed piers* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall not be used.
- (2) **Height.** No pole structures incorporated into a *fixed pier* shall be higher than eight (8) feet above the flat floor surface with no more than two (2) pole structures allowed.
- (3) **Size.** The catwalk of a *fixed pier* will be a maximum of six (6) feet in width, as measured at a 90-degree angle to the main *fixed pier's* length, and will not enclose any portion of the water to allow the free movement of water underneath. *Fixed piers* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (i.e. 435.5).
- (4) **Lighting.** Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of the catwalk of a *fixed pier* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed at the end of a *fixed pier*.
- (5) **Additional Construction Standards.**
 - (a) **Pilings.** The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-feet mean sea level. Vertical rub rails are required on all concrete piers and pilings.
 - (b) **Catwalks.** The catwalk of a *fixed pier* will be allowed within nine (9) feet of the normal pool elevation of 435.5-feet mean sea level. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-feet mean sea level.
 - (c) **Safety Reflectors.** All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside end of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.
- (6) **Location.** View corridor restrictions do not apply to *fixed piers*.
- (f) **Setback Requirements.** A *fixed pier* must adhere to the following setbacks:
 - (1) **Takeline Setback:** 0-feet
 - (2) **Leased Side Yard Setback:** 10-feet
 - (3) **Maximum Distance from Seawall:** 40-feet
- (g) **Additional Requirements.**
 - (1) **Dredging.** Dredging of the lake area is allowed for the berthing of a motorized boat into a *fixed pier* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-feet mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials

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must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

- (2) Compliance with Applicable Codes. A fixed pier must comply with all other applicable City of Rockwall codes.
- (3) Address. All fixed pier shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the Lake to be recognizable for waterside public safety and emergency personnel.
- (4) Easement Protection. No fixed pier shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) Visual Representation.



1: 40-FOOT MAXIMUM; 2: PIER IN AN 'I' SHAPE; 3: PIER IN A 'T' SHAPE; 4: PIER IN A 'L' SHAPE; 5: PIER IN A 'U' SHAPE; 6: SEAWALL;
7: SIX (6) FOOT MAXIMUM

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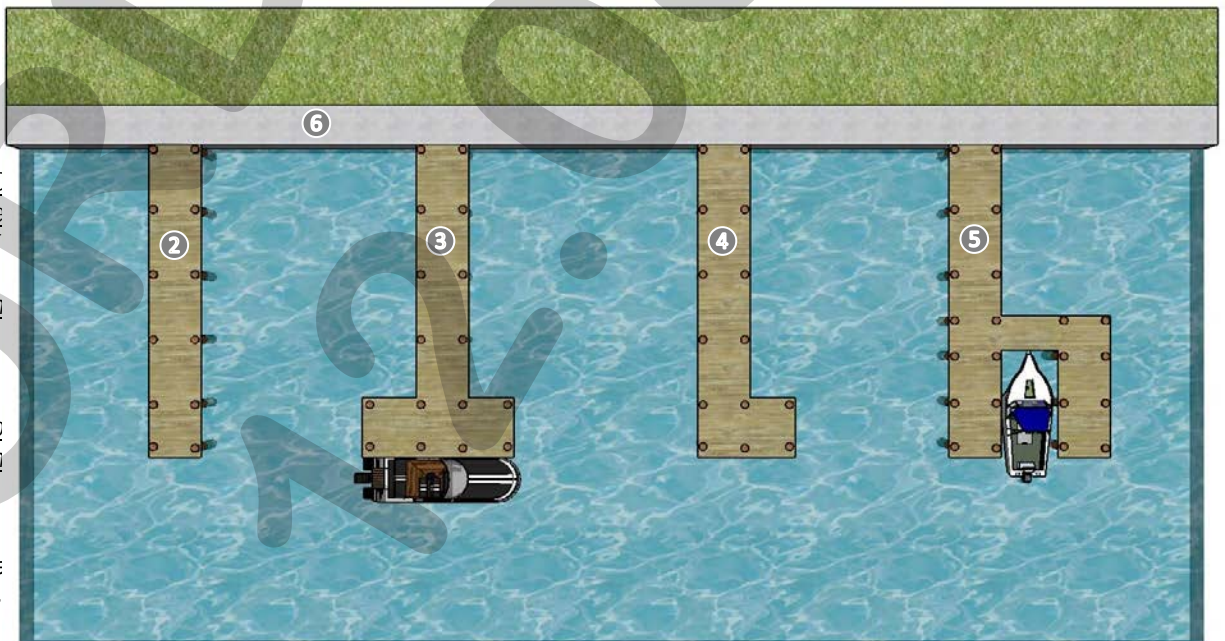


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- A fire pit is a permanent fireplace that is dug into the ground or is in a freestanding structure in which a contained fire is made.
- (b) Prerequisites. A fire pit may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (c) Elevation Zone. A fire pit shall be allowed in the following zones:
- (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a Seawall has been constructed).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A fire pit can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (i.e. natural gas or propane).
- (e) Construction Standards.
- (1) Building Materials. The surround (i.e. the area used to contain the fire) for a fire pit must be constructed utilizing a combination of natural stone, brick, and/or concrete.
 - (2) Height. A fire pit shall not exceed a maximum of 36-inches in height.
 - (3) Size. A fire pit shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a fire pit should not exceed a maximum size of five (5) feet in length by five (5) feet in width.
- (f) Setback Requirements. A fire pit must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of a fire pit must comply with the erosion control standards set forth in the Interlocal Lease Agreement.
 - (2) Compliance with Applicable Codes. A fire pit must comply with all other applicable City of Rockwall codes.
- (h) Visual Representation.



❶: NATURAL STONE, BRICK, AND/OR CONCRETE; ❷: MINIMUM SIZE OF THREE (3) FEET BY THREE (3) FEET AND A MAXIMUM SIZE OF FIVE (5) FEET BY FIVE (5) FEET; ❸: MAXIMUM HEIGHT OF 36-INCHES OR THREE (3) FEET.

(10) Gazebo.

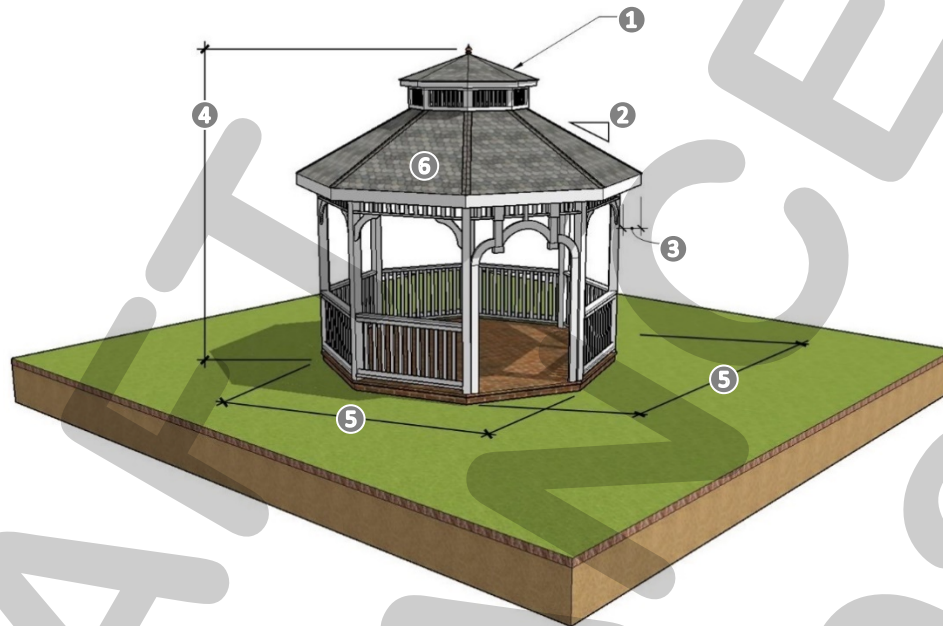
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- (a) Definition. A gazebo is a permanent stand-alone structure with a roof and trellis structure open on all sides with places for sitting.
- (b) Prerequisites. A gazebo may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a seawall along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A gazebo shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A gazebo shall not be used as a habitable dwelling structure, storage facility, deck, or shelter for domestic or wild animals.
- (e) Construction Standards.
 - (1) Building Materials. A gazebo built in the *438.0 Elevation Zone* must be constructed utilizing cedar, redwood, ironwood, composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. The side trellis of the gazebo may be built using wood; however, canvas, cloth, or mesh attachments to the structure shall be prohibited. A gazebo built in the *435.5 Elevation Zone* shall only be built out of composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. A gazebo will be constructed using steel reinforced concrete piers.
 - (2) Height. A gazebo shall not exceed a maximum height of 15-feet without a clerestory and 18-feet with a clerestory/cupola. The height of the gazebo shall be measured from grade to the vertex of the gazebo's main roof or clerestory/cupola roof. In either case a gazebo shall not be larger than one (1) story or incorporate a balcony.
 - (3) Size. A gazebo shall not exceed a maximum size of 12-feet by 12-feet or 144 SF.
 - (4) Roof. The roof of the gazebo shall be a hipped roof, gable roof, or hip and/or gable roof with or without a clerestory/cupola, and have a slope of 2:1. The roof shall not have an overhang greater than 18-inches. In addition, the roof of the gazebo can match the roof of the primary structure on the leasing property; otherwise, the roof shall be built out of a prefinished standing seam galvanized metal roof. If a clerestory/cupola is incorporated it shall be centered at the top of the main hip roof.
 - (5) Location. A gazebo located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. Gazebos shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A gazebo must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
 - (1) Earth Work. Earth work required for the construction of a gazebo must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A gazebo must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The gazebo shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.

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①: CUPOLA OR CLERESTORY; ②: 2:1 MINIMUM ROOF PITCH; ③: 1.5-FOOT MAXIMUM OVERHANG; ④: 18-FOET MAXIMUM HEIGHT WITH A CUPOLA OR CLERESTORY AND 15-FOET WITHOUT A CUPOLA OR CLERESTORY; ⑤: 12-FOET MAXIMUM; ⑥: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

(11) Landing and Stairs.

- (a) Definition. A landing is the area of a floor near the top or bottom step of a stair. A stair is a set of steps leading from one floor of an area to another.
- (b) Prerequisites. A landing and stairs may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 or 425.5 Elevation Zones* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A landing and stairs shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a *Seawall* has been constructed).
 - (3) 425.5: Permitted (if a *Seawall* has been constructed).

NOTE: A landing and stairs located in the *425.5 Elevation Zone* is permitted beside the lake but not upon or over the lake.

- (d) Conditional Use Standards. A landing and stairs shall be allowed to be constructed in conjunction with a retaining wall if the retaining wall exceeds three (3) feet in height measured from the adjacent grade to the top of the wall.
- (e) Construction Standards.
 - (1) Building Materials. A landing and stairs shall be constructed of wrought iron or black tubular steel, natural stone, brick, and/or concrete.
 - (2) Height. A landing and stairs shall not exceed the height of the adjacent retaining wall.
 - (3) Size. A landing and stairs shall be limited to eight (8) feet by eight (8) feet measured at the top of the adjacent retaining wall and the staircase shall be parallel to the retaining wall with a maximum width of a six (6) foot projection from the wall.
 - (4) Location. A landing and stairs shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A landing and stairs must adhere to the following setbacks:

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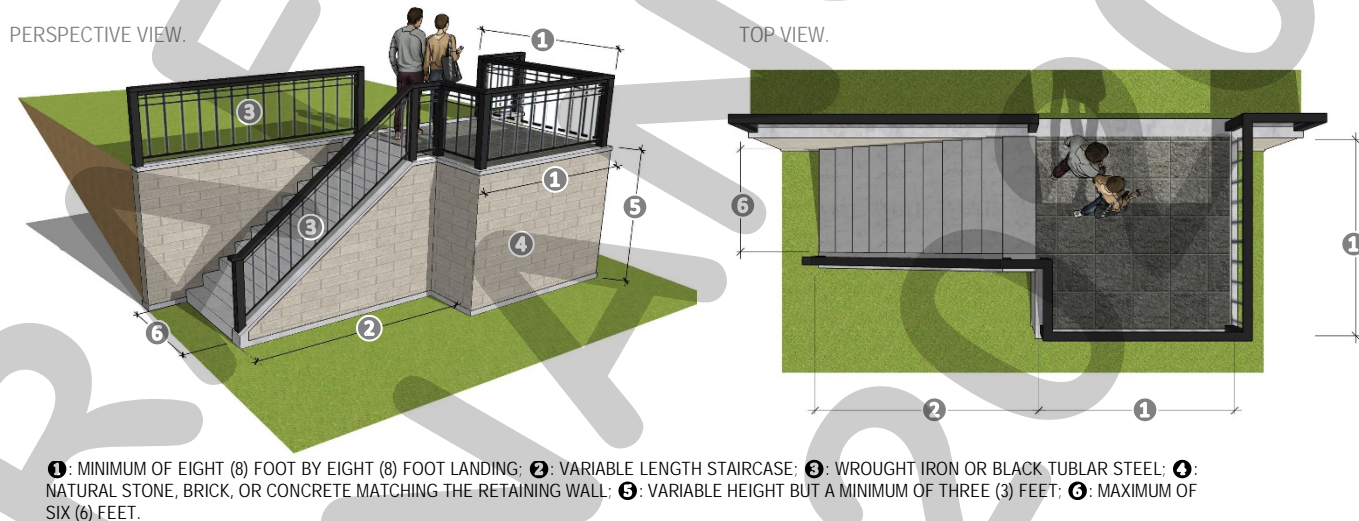
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- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 5-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *landing and stairs* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *landing and stairs* must comply with all other applicable City of Rockwall codes.

(h) Visual Representation.



(12) Landscaping and Retaining Walls.

- (a) Definition. *Landscaping* is the minor modification or altering of the surrounding takeline area terrain and shoreline with trees, shrubs, ground cover, and native stone or interlocking retaining walls.
- (b) Prerequisites. *Landscaping and retaining walls* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. *Landscaping and retaining walls* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.

NOTE: Remedial *landscaping* in the 425.5 Zone is permitted when the intent is to maintain the integrity of the shoreline. This will require the approval of the Director of Parks and Recreation.

- (d) Conditional Use Standards. *Landscaping and retaining walls* shall compliment and be integrated into the existing woodlands, wetlands, and general aesthetic of the takeline area. *Landscaping* shall not consist of hedge or shrub rows, or any plantings that may restrict views or lead to the siltation and/or erosion of the shoreline. The use of pesticides, herbicides, fungicides, or preservatives is *strictly prohibited*. All landscaping must comply with the requirements of Article 08, Landscaping and Fence Standards, of the Unified Development Code (UDC). For information regarding planting or removing trees see Subsection (F)(4) above.
- (e) Construction Standards.

- (1) Building Materials. *Retaining walls* shall be finished in native stone and will only be allowed in the 438.0 Elevation Zone and the 435.5 Elevation Zone. The use of mulch is prohibited in all zones with the exception

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of the 438.0 Elevation Zone. The use of railroad ties, treated wood, pea gravel -- with the exception of using it as a base --, and brick shall be prohibited.

- (2) Height. Retaining walls as part of landscaping will be limited to less than three (3) feet.
- (3) Location. Landscaping and retaining walls shall not hinder the view clear zone of an adjacent neighbor's view corridor. Landscaping shall not exceed six (6) feet in height in the view clear zone.

(f) Setback Requirements. Retaining walls must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 6-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of landscaping and retaining walls must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. Landscaping and retaining walls must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. Landscaping and retaining walls shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(13) Municipal Utilities.

(a) Definition. *Municipal utilities* represent all local utilities that consist of cable lines, pipelines, and wiring already existing and planned running through the take area used by both the local community and the region's communities to facilitate the distribution and collection of communications, water, electricity, natural gas, and waste byproducts.

(b) Elevation Zone. *Municipal utilities* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted.
- (3) 425.5: Permitted.

(c) Conditional Use Standards. All *municipal utilities'* infrastructure is permitted within the take area. *Municipal utilities* shall be placed underground.

(d) Setback Requirements. *Municipal utilities* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(e) Additional Requirements.

- (1) Compliance with Applicable Codes. *Municipal utilities* must comply with all other applicable City of Rockwall codes.

(14) Outdoor Lighting.

(a) Definition. *Outdoor lighting* is a structure or system of structures, fixtures, and/or devices used to provide artificial nighttime lighting over a defined broad area, on buildings and monuments, on docks for safety, and to emphasize landscaping but not directed to the detriment of the traveling public or surrounding residents in the light's path.

(b) Prerequisites. *Outdoor lighting* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) Elevation Zone. *Outdoor lighting* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Not Permitted.

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- (3) 425.5: Not Permitted.

NOTE: Catwalk lighting in the 425.5 Elevation Zone is the only permitted *outdoor lighting* allowed below the 438.0 Elevation Zone.

- (d) Conditional Use Standards. Systems and structures associated with *outdoor lighting* include artificial landscape lighting, dock lighting, monument lighting, and flood lights. Cobra and florescent light fixtures are *not* allowed on poled structures. All lights are to have shields which deflect light downward. The operation of search or spot lighting shall be prohibited.
- (e) Photometric Plan. A photometric plan describing compliance with the provisions of Article 07, Performance Standards, of the Unified Development Code (UDC) shall be submitted to the Director of Planning and Zoning or his/her designee prior to the issuance of a building permit for *outdoor lighting*. This plan shall be prepared by an appropriate lighting professional (e.g. *lighting engineer, architect, or other qualified lighting designer*). Upon installation of the lighting, the lighting professional shall provide a letter certifying that the lighting is installed in accordance with the approved photometric plan. The Director of Planning and Zoning, or his/her designee, shall have the authority to interpret and determine compliance with the photometric plan and the Unified Development Code (UDC). The Planning and Zoning Commission may grant an exception to the provisions of the Unified Development Code (UDC) when strict compliance with the requirements of this section will result in substantial financial hardship or inequity, so long as such exception is without harm to the public. Decisions of the Planning and Zoning Commission may be appealed to the City Council in accordance with the procedures outline in Section 09, Exceptions and Variances, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC).
- (f) Construction Standards.
- (1) Building Materials. *Outdoor lighting* poles must be constructed of aluminum or steel. Wood and/or concrete poles are prohibited.
- (2) Height. The height of *outdoor lighting* shall range from light fixtures embedded into a catwalk periphery to a 12-foot maximum for post structures on land for broader illumination. Poled outdoor light fixtures within the 438.0 Elevation Zone should be no taller than one-third (1/3) the distance to a neighboring property and should not exceed 12-feet.
- (3) Location. *Outdoor lighting* fixtures shall not be placed in the view clear zone of a neighbor's view corridor; however, view corridor restrictions do not apply for *outdoor lighting* associated with boathouses, dock decks, or fixed piers except as described for each use due to brightness and glare to surrounding neighbors and the traveling public.
- (g) Setback Requirements. *Outdoor lighting* must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet
- (h) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of *outdoor lighting* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. *Outdoor lighting* must comply with all other applicable City of Rockwall codes.
- (3) Municipal or Government Installed Lighting. *Outdoor lighting* installed by and/or for a governmental agency for a public benefit that is used for activities for the public benefit (e.g. *rights-of-way, ball fields, airports, and/or parks*) shall be exempted from the requirements of this section; however, parking lot lighting for these activities shall meet the requirements of the Unified Development Code (UDC).

(15) Patio.

- (a) Definition. A *patio* is a paved, tiled, or rocked outdoor area that is generally used for dining or recreation.
- (b) Prerequisites. A *patio* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

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**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
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(c) Elevation Zone. A *patio* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted.
- (3) 425.5: Not Permitted.

(d) Conditional Use Standards. A *patio* shall not incorporate walls or other none transparent structures to function as handrails or counter space.

(e) Construction Standards.

- (1) Building Materials. A *patio* must be constructed with natural stone. Handrails incorporated into a *patio* in the 438.0 Elevation Zone shall be made of wrought iron or decorative metal. Handrails are not permitted in the 435.5 Elevation Zone.
- (2) Height. A *patio* shall not exceed a maximum height of 12-inches above grade.
- (3) Size. A *patio* shall not exceed a maximum area of 1,000 SF.
- (4) Location. *Patios* shall not be placed in the view clear zone of a neighbor's view corridor.

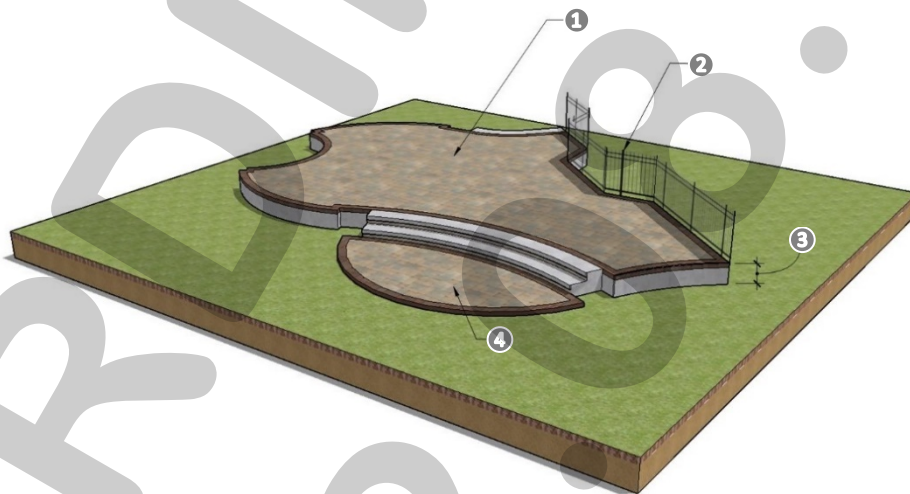
(f) Setback Requirements. A *patio* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *patio* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *patio* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The *patio* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



①: NATURAL STONE; ②: WROUGHT IRON OR BLACK TUBULAR STEEL; ③: MAXIMUM OF 12-INCHES OR ONE (1) FOOT; ④: PATIO AREA SHALL NOT BE GREATER THAN 1,000 SF

(16) Pergola.

(a) Definition. A *pergola* is a stand along structure consisting of parallel columns supporting an open roof of girders and cross rafters.

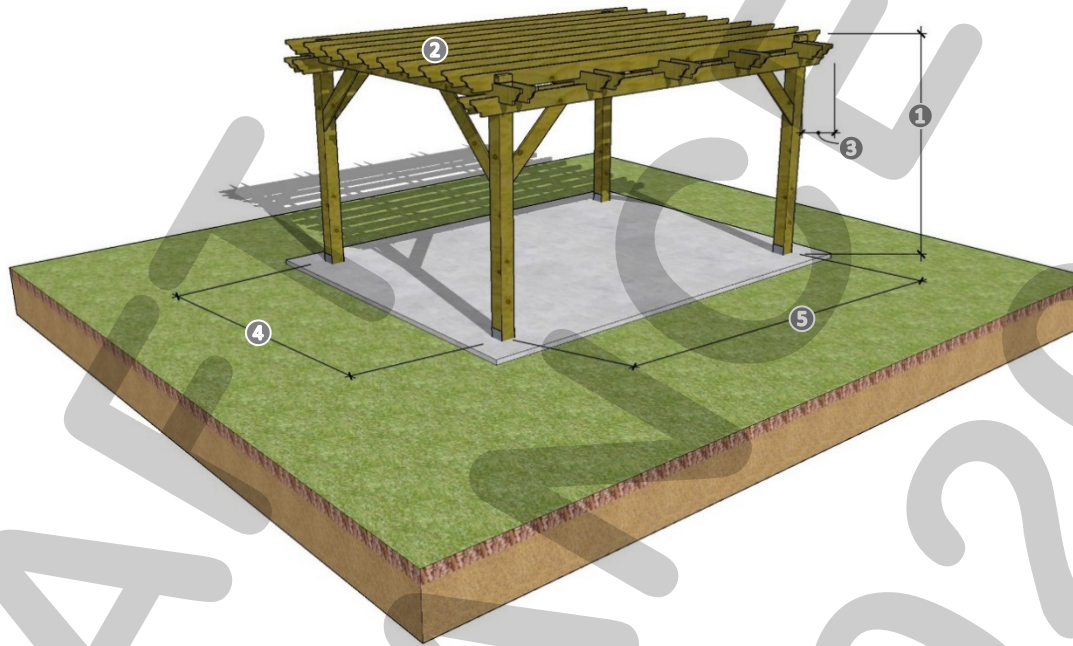
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- (b) Prerequisites. A pergola may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a seawall along the entire length of the shoreline within the leased area.
- (c) Elevation Zone. A pergola shall be allowed in the following zones:
- (1) 438.0: Permitted.
 - (2) 435.5: Permitted (*if a Seawall has been constructed*).
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A pergola shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.
- (e) Construction Standards.
- (6) Building Materials. A pergola constructed within the *438.0 Elevation Zone* must be constructed utilizing cedar, redwood, ironwood, composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. A pergola constructed within the *435.5 Elevation Zone* must be constructed using composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*) or metal. Canvas, cloth, or mesh attachments to the structure shall be prohibited.
 - (7) Height. A pergola shall not exceed a maximum height of 12-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the highest point of the structure.
 - (8) Size. A pergola shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.
 - (9) Roof. The roof of the pergola shall not have an overhang greater than 18-inches.
 - (10) Location. A pergola located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. Pergolas shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A pergola must adhere to the following setbacks:
- (3) Takeline Setback: 0-Feet
 - (4) Leased Side Yard Setback: 20-Feet
- (g) Additional Requirements.
- (4) Earth Work. Earth work required for the construction of a pergola must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (5) Compliance with Applicable Codes. A pergola must comply with all other applicable City of Rockwall codes.
 - (6) Emergency Response. The pergola shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.

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**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
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❶: 12-FOOT MAXIMUM HEIGHT; ❷: OPEN ROOF OF GIRDERS OR RAFTERS; ❸: 1.5-FOOT MAXIMUM OVERHANG; ❹: 12-FOOT MAXIMUM; ❺: 20-FOOT MAXIMUM; ❻: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

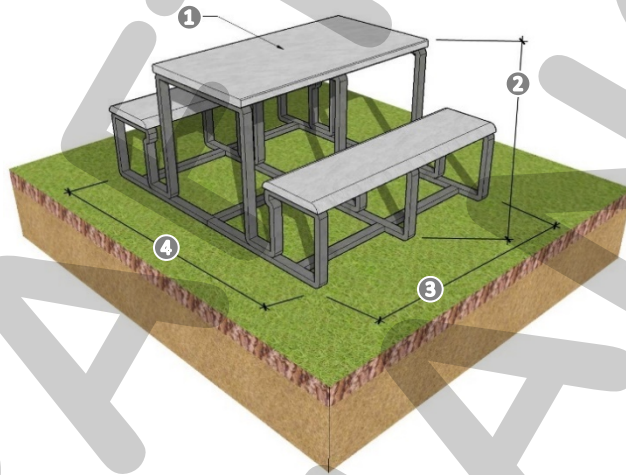
(17) Picnic Table.

- (a) Definition. A *picnic table* is a permanent outdoor structure used for outdoor dining.
- (b) Prerequisites. A *picnic table* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *picnic table* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *picnic table* must be a minimum of 12-feet from a *barbecue pit* or *fire pit*, and shall be open to the air (i.e. *no roof covering*) unless combined with a covered patio or pergola. A *picnic table* shall be built on level terrain.
- (e) Construction Standards.
 - (1) Building Materials. The surface area of the *picnic table* shall be constructed out of concrete, brick, or native stone. *Picnic tables* constructed with wood shall be prohibited.
 - (2) Height. A *picnic table* shall not exceed a maximum of 36-inches in height.
 - (3) Size. A *picnic table* shall not exceed a maximum size of ten (10) feet in length by eight (8) feet in width.
 - (4) Location. A *picnic table* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Picnic tables* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *picnic table* must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 6-Feet
- (g) Additional Requirements.

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**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
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- (1) Earth Work. Earth work required for the construction of a *picnic table* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A *picnic table* must comply with all other applicable City of Rockwall codes.
 - (3) Emergency Response. The *picnic table* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.
- (h) Visual Representation.



❶: SURFACE OF THE PICNIC TABLE SHALL BE CONCRETE, BRICK, OR NATIVE STONE; ❷: NOT TO EXCEED 36-INCHES OR THREE (3) FEET; ❸: EIGHT (8) FOOT MAXIMUM; ❹: TEN (10) FOOT MAXIMUM.

(18) Private Play Structure.

- (a) Definition. A *private play structure* is a permanent outdoor structure used by children for play, which is installed by the private property owner.
- (b) Prerequisites. A *private play structure* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A *private play structure* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. A *private play structure* can consist of arched ladders, vertical ladders, horizontal ladders, clatter bridge, timber structures, slides, fort and slide playset, climbers, play walls, play climbers, play pods, moon houses, jungle gyms, see-saws, merry-go-rounds, domes, rocket riders, tire swings, buoy balls, monkey bars, drums, chin-up bars, trampoline and rock walls; however, sandboxes and/or sand play areas shall not be permitted.
- (e) Construction Standards.
 - (1) Building Materials. A *private play structure* shall be built out of aluminum, galvanized steel, rubber, and/or water-resistant wood; however, railroad ties and treated lumber are prohibited. The exterior color of a *private play structure* should blend and incorporate the same hues and tones of the surrounding landscaping.
 - (2) Height. A *private play structure* shall not exceed a maximum of eight (8) feet in height.
 - (3) Size. All *private play structures* will be situated in a collected area that is a maximum of 1,000 SF in area.
 - (4) Location. *Private play structures* shall not be placed in the view clear zone of a neighbor's view corridor.
- (f) Setback Requirements. A *private play structures* must adhere to the following setbacks:

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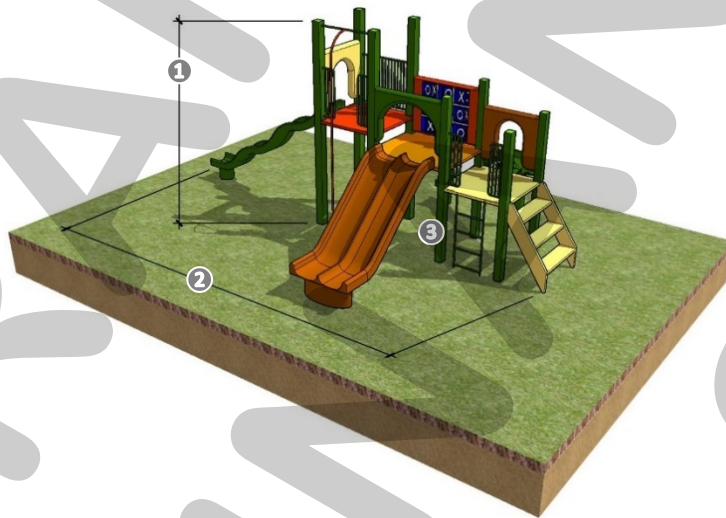
**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
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- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 20-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a *private play structures* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private play structure* must comply with all other applicable City of Rockwall codes.
- (3) Emergency Response. The *private play structure* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) Visual Representation.



❶: MAXIMUM OF EIGHT (8) FEET IN HEIGHT; ❷: TOTAL SQUARE FOOTAGE SHALL NOT EXCEED A MAXIMUM OF 1,000 SF; ❸: EXTERIOR COLOR SHOULD BLEND WITH THE SURROUNDING LANDSCAPING.

(19) Private Utilities.

- (a) Definition. *Private utilities* are a system of underground cable line, pipelines, and wiring installed by the leasing property owner to maintain and operate improvements in the take area.
- (b) Prerequisites. *Private utilities* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. *Private utilities* shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted.
 - (3) 425.5: Not Permitted.
- (d) Conditional Use Standards. *Private utilities* are required to be buried in accordance with Chapter 38, *Subdivisions*, of the City of Rockwall's Municipal Code of Ordinances. No overhead private utility lines are permitted in the lease area. *Private utilities* containing natural gas, propane, gasoline, oil, diesel, or similar types of compounds shall not be permitted within the lease area. No part of any *On-Site Sanitary Sewer System* (OSSF) or any other private wastewater system or appurtenances shall be permitted within the lease area.
- (e) Construction Standards.
 - (1) Building Materials. *Private utilities* shall only be constructed out of materials permitted by the City's Engineering Department.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
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- (2) Location. Private utilities within 20-feet of the normal pool elevation shoreline (i.e. 435.5) shall be built to handle load factors associated with emergency and service vehicles. Private utilities containing electricity and communication lines built into structures over the water shall not be allowed below the 436.5-foot mean sea level elevation.
- (f) Setback Requirements. Private utilities must adhere to the following setbacks:
- (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 0-Feet
- (g) Additional Requirements.
- (1) Earth Work. Earth work required for the construction of private utilities must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
 - (2) Compliance with Applicable Codes. A private utility must comply with all other applicable City of Rockwall codes.
 - (3) Damage to the System. Any damage or destruction to any private utility by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.
- (20) Private Walkways.
- (a) Definition. Private walkways can be a single path or a network of paths installed by the leasing property owner in the takeline area.
 - (b) Prerequisites. Private walkways may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a seawall along the entire length of the shoreline within the leased area.
 - (c) Elevation Zone. Private walkways shall be allowed in the following zones:
 - (1) 438.0: Permitted.
 - (2) 435.5: Permitted (if a Seawall has been constructed).
 - (3) 425.5: Not Permitted.
 - (d) Conditional Use Standards. Private walkways with steps are permitted (see *Landing and Stairs* in Subsection 06.15(J)(11)).
 - (e) Construction Standards.
 - (1) Building Materials. Private walkways shall be constructed using native stone, brick and/or rectangle pavers; however, private walks shall not consist of loose stone, gravel, sand, asphalt, or concrete.
 - (2) Height. Private walkways shall be flush with the surrounding grade, or work within the gradient present of the surrounding grade.
 - (3) Size. Private walkways shall be no greater than 48-inches in width.
 - (4) Location. Private walkways may encroach into an existing easement or right-of-way, encroach into an identified future easement or right-of-way, or encroach into an identified or set aside access path, provided that the property owner or sublease is responsible for repair and/or replacement of the walks in the event they are damaged or removed by the City or other public entity as a result of the necessary use of, or work within or around, said easements. An existing and future easement running through a lease property will be allowed to substitute for the 12-foot wide primary access right-of-way path provided it is 12-foot wide, suitable for access, and will connect to adjacent access paths.
 - (f) Setback Requirements. Private walkways must adhere to the following setbacks:
 - (1) Takeline Setback: 0-Feet
 - (2) Leased Side Yard Setback: 10-Feet
 - (g) Additional Requirements.

Exhibit 'A'

Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, Development Standards, of the Unified Development Code (UDC)

- (1) Earth Work. Earth work required for the construction of *private walkways* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private walkway* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any *private walkway* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(21) Seawall.

- (a) Definition. A seawall is an engineered concrete or steel structure at the water's edge that is typically designed to curb shoreline erosion where it is installed.
- (b) Prerequisites. A seawall may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.
- (c) Elevation Zone. A seawall shall be allowed in the following zones:
 - (1) 438.0: Not Permitted.
 - (2) 435.5: Not Permitted.
 - (3) 425.5: Permitted.

NOTE: Seawalls are only permitted along the shoreline.

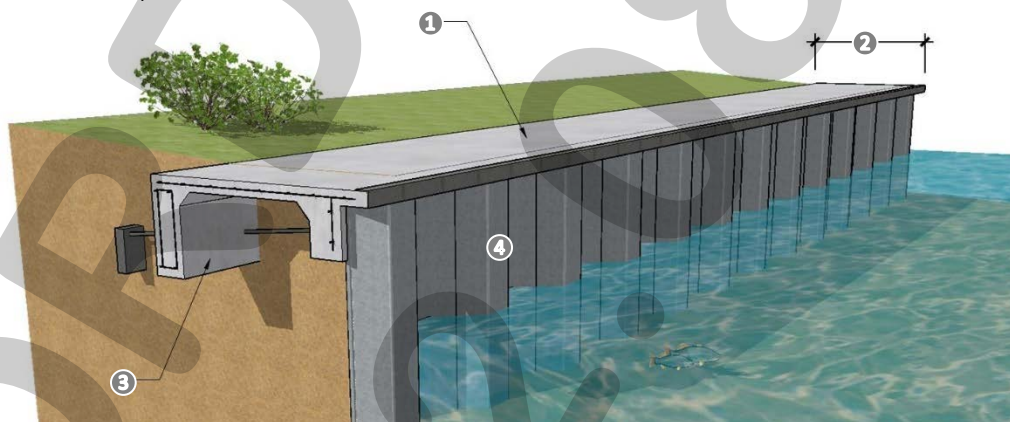
(d) Construction Standards.

- (1) Concrete Cap. A six (6) foot wide concrete cap must be constructed along the entire length of the erosion control structure. In order to allow the backfill material to properly settle, the construction of the concrete cap may be delayed for several weeks/months after the construction of the erosion control structure; however, in no case should the construction of the concrete cap be delayed for a time period exceeding one (1) year from the date of construction of the erosion control structure.

(e) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a seawalls must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A seawall must comply with all other applicable City of Rockwall codes.

(f) Visual Representation.



1: CONCRETE WALKWAY; 2: SIX (6) FOOT MINIMUM; 3: 24-INCH BY TEN (10) INCH BEAM WITH #3 REBAR ON 18-INCH CENTERS; 4: RETAINING WALL.

(22) Sprinkler/Irrigation System.

Exhibit 'A'

**Section 06.15, Lake Ray Hubbard Takeline Overlay (TL OV) District, of
Article 05, Development Standards, of the
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- (h) Definition. A sprinkler/irrigation system is an underground irrigation network used to water and maintain trees, shrubs, grounds, and the foundations of improvements.
- (i) Prerequisites. A sprinkler/irrigation system may only be constructed on a property that has a valid Residential Sublease Agreement from the City of Rockwall.
- (j) Elevation Zone. A sprinkler/irrigation system shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted.
- (3) 425.5: Not Permitted.

Note: The prohibition of sprinkler/irrigation systems in the 425.5 Elevation Zone does not include the pumps or lines necessary to pump raw water, when a property owner has been granted permission to do so from the City of Dallas.

- (k) Conditional Use Standards. A sprinkler/irrigation system must be connected to the leasing property owner's existing water supply source with approved backflow prevention devices.
- (l) Construction Standards.

- (1) Building Materials. A sprinkler/irrigation system shall only be constructed utilizing Schedule 40 PVC pipe.
- (2) Height. The heads of a sprinkler/irrigation system used for shrubs shall extend no higher than three (3) feet from the average base of the surrounding terrain within a three (3) foot radius of the head.
- (3) Location. A sprinkler/irrigation system shall be allowed up to one (1) foot of the normal pool elevation shoreline (i.e. 435.5) provided no part of the system could potentially result in lake siltation erosion.

- (m) Setback Requirements. A sprinkler/irrigation system must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

- (n) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of a sprinkler/irrigation system must comply with the erosion control standards set forth in the Interlocal Lease Agreement.
- (2) Compliance with Applicable Codes. A sprinkler/irrigation system must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any part of a sprinkler/irrigation system by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

Exhibit 'B'

Section 07.05, Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards, of Article 05, Development Standards, of the Unified Development Code (UDC)

LAND USE ¹	CONDITIONAL USE REFERENCE SEE SUBSECTION 06.15(J)	PRE-REQUISITES L: SUBLEASE, S: SEAWALL, FP: FIXED PIER	ELEVATION ZONES			MINIMUM SIZE (FEET OR SQUARE FEET)	MAXIMUM SIZE (FEET, INCHES, OR SQUARE FEET)	MINIMUM HEIGHT (FEET OR INCHES)	MAXIMUM HEIGHT (FEET)	SIDE YARD SETBACK (FEET)	BUILDING MATERIALS NS: NATURAL STONE B: BRICK C: CONCRETE CM: COMPOSITE MATERIALS GM: GALVANIZED METAL IR: IRON SS: STAINLESS STEEL S: STEEL M: METAL A: ALUMINUM CW: CEDAR RW: REDWOOD IW: IRONWOOD SSM: STANDING SEAM METAL WR: WROUGHT IRON R: RUBBER
			438.0	435.5	425.5						
BARBECUE PIT	(1)	L	P	X	X	3' x 3'	8' x 3'	0'	6'	6'	NS, B, C, AND IR
BOAT HOUSE ^{2, 4, 5, & 15}	(2)	L, S, & FP	X	X	P	8' x 30'	12' x 30'	16'	21'	10'	CM FOR CATWALK AND DECKING; GM, IR, S, OR A FOR THE SUPPORTS ³ ; CM, GM, IR, S, A, CW, IW, OR RW FOR ROOF BEAMS; AND SSM FOR THE ROOF
COVERED PATIO ^{5 & 15}	(3)	L & S ¹⁶	P	P	X	0'	12' x 20'	0'	15' ^{6 & 7}	20'	CW, IW, & RW IN THE 438.0 ELEVATION ZONE: CM OR M IN THE 435.5 ELEVATION ZONE; SSM FOR THE ROOF
DECK ^{5 & 18}	(4)	L & S ¹⁶	P	P	X	0'	1,000 SF	2' OR 24"	1'	20'	CM FOR THE DECKING, C FOOTINGS FOR FOUNDATION, AND WR FOR FENCING/RAILING
DOCK DECK ^{2 & 5}	(5)	L, S, & FP	X	X	P	8' x 10'	12' x 30'	0'	8' ⁸	10'	CM
FENCE	(6)	L	P	X	X	0'	45'	4'	4'	0'	WR
FLAGPOLE ^{5 & 9}	(7)	L & S ¹⁶	P	P	X	5" BASE	8" BASE	0'	20'	6'	SS OR A
FIXED PIER ^{2 & 5}	(8)	L & S	X	X	P	0'	6' x 40'	0'	8' ¹⁰	10'	CM FOR CATWALK AND DECKING; CM OR S FOR RAILINGS
FIRE PIT	(9)	L & S ¹⁶	P	X	X	3' x 3'	5' x 5'	0'	3'	6'	NS, B, AND C
GAZEBO ^{5 & 15}	(10)	L & S ¹⁶	P	P	X	0'	12' x 12'	0'	15' ^{18' 7 & 11}	20'	CW, RW, IW, CM, OR M IN THE 438.0 ELEVATION ZONE; AND CM OR M IN THE 435.5 ELEVATION ZONE
LANDING AND STAIRS	(11)	L & S ¹⁷	P	P	P	0'	8' x 8' x 6'	3'	SAME AS RETAINING WALL	5'	NS, B, AND C FOR THE STAIRS; WR OR BLACK S FOR THE RAILINGS AND/OR FENCE
PATIO ^{5 & 18}	(15)	L	P	P	X	0'	1,000 SF	0'	1'	20'	NS FOR THE DECK AREA AND WR FOR RAILINGS
PERGOLA ⁵	(16)	L & S ¹⁶	P	P	X	0'	12' x 20'	0'	12' ⁷	20'	CW, RW, IW, OR CM IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE
PICNIC TABLE	(17)	L	P	P	X	0'	8' x 10'	0'	3' OR 36"	6'	NS, B, AND C
PRIVATE PLAY STRUCTURE	(18)	L	P	X	X	0 SF	1,000 SF	0'	8'	20'	A, GM, R, CW, RW, AND IW
PRIVATE WALKWAYS	(20)	L & S ¹⁶	P	P	X	0'	48" WIDE	0'	FLUSH WITH GRADE	10'	NS, B, AND RECTANGULAR PAVERS
LANDSCAPING AND RETAINING WALLS ^{12 & 13}	(22)	L	P	P	X	NOTES: ¹ : FOR ALL LAND USES CHECK SECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT FOR ADDITIONAL REQUIREMENTS AND RESTRICTIONS. ² : BOATHOUSES, FIXED PIERS, DOCK DECKS, OR ANY COMBINATION OF THESE STRUCTURES MAY NOT EXTEND MORE THAN 40-FEET INTO THE WATER FROM THE 435.5 ELEVATION CONTOUR. ³ : REQUIRES A HIP ROOF, A MINIMUM OF 2:1 ROOF PITCH, WITH ONE (1) CUPOLA (3' x 4') IN THE MIDDLE OF THE ROOF OR TWO (2) CUPOLAS (3' x 4') AT EACH END OF THE ROOF. ⁴ : SUPPORT POSTS MAY BE WRAPPED IN A COMPOSITE MATERIAL. ⁵ : THE STRUCTURE SHALL BE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE ON THE LEASING PROPERTY IF LOCATED IN THE 435.5 OR 425.5 ELEVATION ZONES (IF PERMITTED IN THE ZONE). ⁶ : REQUIRES A HIP OR GABLE ROOF WITH A CUPOLA OR CLERESTORY AND A MINIMUM ROOF PITCH OF 4:1. ⁷ : SHALL NOT EXCEED ONE (1) STORY OR BE USED AS A ROOF TOP DECK. ⁸ : EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN					
MUNICIPAL UTILITIES	(13)	NONE	P	P	P						
OUTDOOR LIGHTING	(14)	L	P	X	X						
PRIVATE UTILITIES	(19)	L	P	P	X						
SEAWALL	(21)	L	X	X	P						
SPRINKLER/ IRRIGATION SYSTEM ¹⁴	(22)	L	P	P	X						

FOUR (4) POLE STRUCTURES ALLOWED.

⁹: A MAXIMUM OF TWO (2) FLAG POLES ARE PERMITTED AND ONLY THE UNITED STATES OF AMERICA AND TEXAS FLAGS ARE TO BE FLOWN.

¹⁰: EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN TWO (2) POLE STRUCTURES ALLOWED.

¹¹: REQUIRES A HIP OR GABLE ROOF OR A HIP AND/OR GABLE ROOF, WITH A MINIMUM ROOF PITCH OF 2:1, AND THAT IS A MAXIMUM OF 15-FEET WITHOUT A CLERESTORY OR CUPOLA OR 18-FEET WITH A CLERESTORY OR CUPOLA.

Exhibit 'B'

**Section 07.05, Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards, of
Article 05, Development Standards, of the
Unified Development Code (UDC)**

- ¹²: REMEDIAL LANDSCAPING ALLOWED IN THE 425.5 ELEVATION ZONE WITH THE INTENT TO MAINTAIN THE INTEGRITY OF THE SHORELINE.
¹³: RETAINING WALLS THAT ARE A PART OF LANDSCAPING ARE LIMITED TO LESS THAN THREE (3) FEET IN HEIGHT.
¹⁴: HEADS SHOULD EXTEND NO HIGHER THAN THREE (3) FEET FROM THE AVERAGE BASE OF THE SURROUND TERRAIN WITHIN A THREE (3) FOOT RADIUS OF THE HEAD.
¹⁵: ROOF OVERHANGS SHALL NOT EXCEED 18-INCHES.
¹⁶: A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 ELEVATION ZONE.
¹⁷: A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 OR 425.5 ELEVATION ZONES.
¹⁸: HANDRAILS ARE PROHIBITED IN THE 435.5 ELEVATION ZONE.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: December 8, 2020

APPLICANT: Brenda Kennedy

CASE NUMBER: Z2020-048; *Specific Use Permit (SUP) for a Residential Infill for 701 T. L. Townsend Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. The City's historic zoning maps show that the subject property was zoned Commercial (C) District as of January 3, 1972. Between May 16, 1983 and December 7, 1993, the subject property was rezoned Single-Family 7 (SF-7) District. On June 9, 1986, the City Council approved a final plat (*Case No. PZ1986-037-01*) establishing the subject property as Lot 1, Block A, Richard Harris #5 Addition. This plat was filed with Rockwall County on October 7, 1986. As part of this plat, the then owner of the subject property -- Richard Harris -- dedicated a 7.5' water line easement running parallel to the southern property line. Based on the reviewed information, the subject property has remained vacant since its incorporation into the City of Rockwall.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 701 T. L. Townsend Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 0.33-acre vacant tract of land (*i.e. Tract 52 of the R. Ballard Survey, Abstract No. 29*) zoned Single-Family 7 (SF-7) District. Beyond this is Renfro Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several tracts of land zoned Single-Family 7 (SF-7) District that are currently developed with single-family homes.

South: Directly south of the subject property is a 0.444-acre parcel of land (*i.e. Lot 1, Block A, Richard Harris #6*) zoned Planned Development District 52 (PD-52) for Heavy Commercial (HC) District land uses. Beyond this is the entry to the Park Place Subdivision and Park Place Boulevard, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this subdivision is a 0.681-acre vacant tract of land (*i.e. Tract 35 of the R. Ballard Survey, Abstract No. 35*) zoned Planned Development District 59 (PD-59) for Residential Office (RO) District land uses. Beyond this is right-of-way owned by the Dallas Garland and New Orleans Railroad (DGNO).

East: Directly east of the subject property is a 0.33-acre vacant tract of land (i.e. Tract 52 of the R. Ballard Abstract No. 29) zoned Single-Family District 7 (SF-7) District. Beyond this are two (2) parcels of land (i.e. Lot 1 & 2 of Renfro Place South Addition) with single-family homes situated on them. Both parcels of land are zoned Single-Family 7 (SF-7) District. East of this is a 1.883-acre vacant parcel of land owned by the Park Place Homeowners Association, zoned Planned Development District 59 (PD-59) for Single-Family 7 District (SF-7) land uses, and identified as open space on the final plat for this subdivision.

West: Directly west of the subject property is Renfro Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land (i.e. Lot 1, Block 1, Allen Hogue Subdivision and Lots 67 & 68, Block B, B. F. Boydston Addition) zoned Planned Development District 52 (PD-52) for Two-Family District (2F) District land uses. Beyond this is S. Clark Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are seven (7) single-family homes situated on seven (7) parcels of land zoned for Zero Lot Line 5 (ZL-5) District (i.e. Phase 1 & 2 of the Integrity Addition).

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within 500-feet of the Harris Subdivision and the B. F. Boydston Subdivision. Both of these subdivisions have been in existence for greater than ten (10) years, consists of more than five (5) lots, and are greater than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on E Boydston Avenue, Renfro Street, and T. L. Townsend Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on E Boydston Avenue, Renfro Street, N. TL Townsend Drive and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face south towards the side property line.
Year Built	1925-2018	N/A
Building SF on Property	934 SF – 2,403 SF	1,831 SF (1,355 SF of Air-Conditioned Space)
Building Architecture	Single-Family Homes	Comparable Architecture to the Surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between ten (10) Feet and 20-Feet	25-Feet
Side	The side yard setbacks greater than six (6) feet.	7'-7½"
Rear	The rear yard setbacks are greater than ten (10) feet.	X>10-Feet
Building Materials	Composite Siding, Vinyl Siding, & Brick	HardiBoard Siding
Paint and Color	White, Grey, Brown, Blue, & Green,	White (Primary), Black (Trim)
Roofs	Composite Shingles and Standing Seam Metal	Composite (Primary), Metal (Accent)
Driveways/Garages	Driveways all front the same street the single-family home faces.	The garage will be attached (J-Swing) and located 12' behind the façade facing on to T. L. Townsend Drive.

The proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along E. Boydston Avenue, Renfro Street, and T. L. Townsend Drive. The proposed building elevations have also been provided in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On November 18, 2020, staff mailed 47 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only Homeowner's Association (HOA)/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received four (4) email and three (3) paper notices from six (6) property owners in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-048

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 701 N. T.L. TOWNSEND DRIVE

Subdivision RICHARD HARRIS SUBDIVISION #5

Lot 1 Block A

General Location BETWEEN W19 RENFRO & 703 N. TL TOWNSEND

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF-7

Current Use VACANT

Proposed Zoning SF-7

Proposed Use RESIDENTIAL

Acreage 0.2342

Lots [Current] 1

Lots [Proposed] 1

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner Brenda Kennedy

☐ Applicant Brenda Kennedy

Contact Person Brenda Kennedy

Contact Person Brenda Kennedy

Address 1630 Shores Blvd

Address 1630 Shores Blvd

City, State & Zip Rockwall 75087

City, State & Zip Rockwall 75087

Phone 214-384-3234

Phone 214-384-3234

E-Mail brenda.kennedy@ebby.com

E-Mail brenda.kennedy@ebby.com

NOTARY VERIFICATION [REQUIRED]

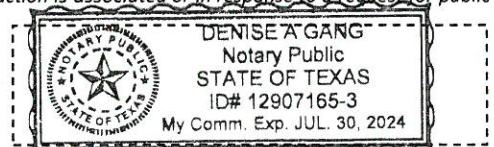
Before me, the undersigned authority, on this day personally appeared Brenda Kennedy [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 30th day of October, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 30th day of October, 2020.

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires June 30, 2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

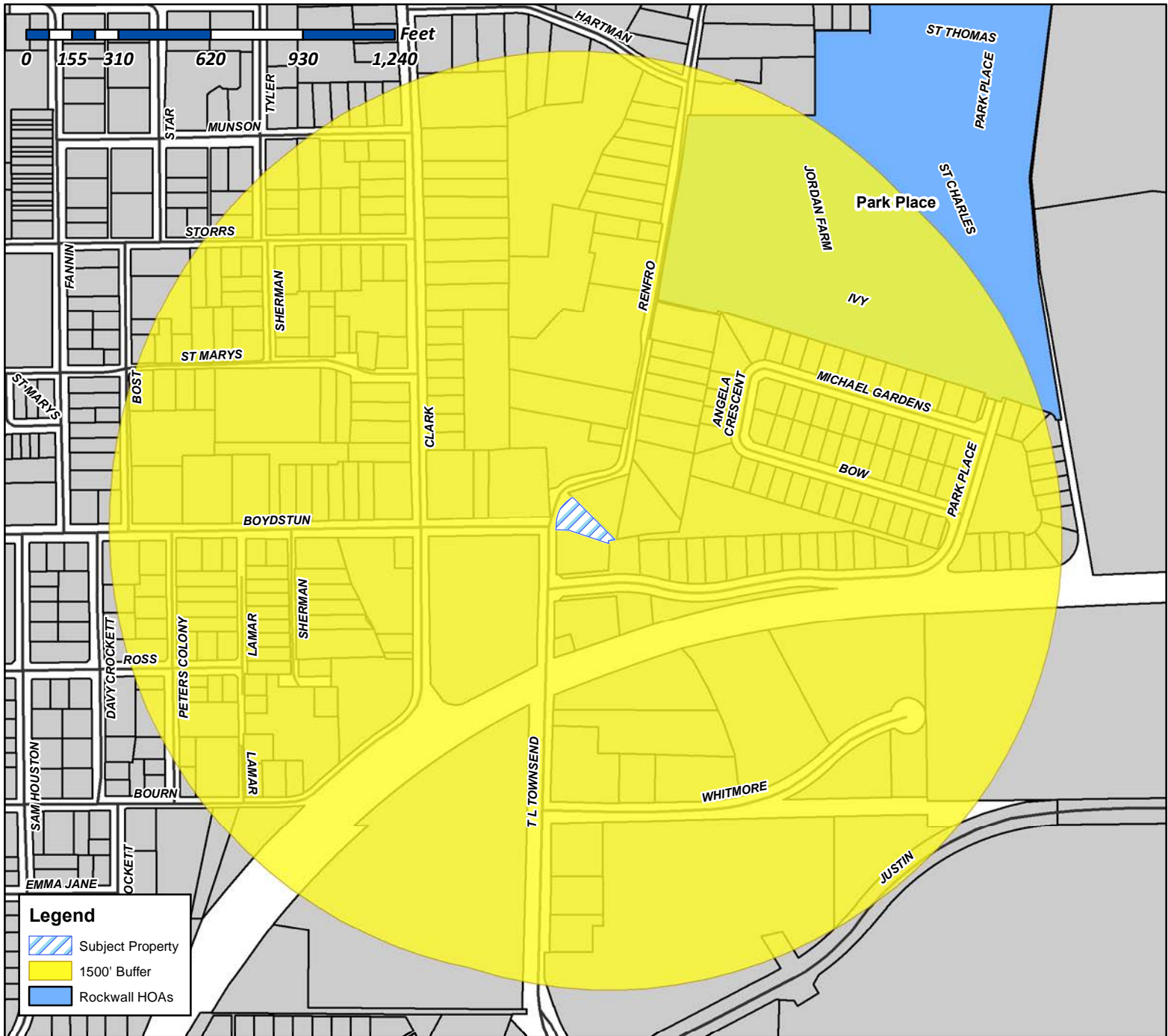




City of Rockwall

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Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-048
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 701 N. TL Townsend Drive

Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Wednesday, November 18, 2020 2:30 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: HOA Map (11.12.2020).pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, November 20, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 8, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-048 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

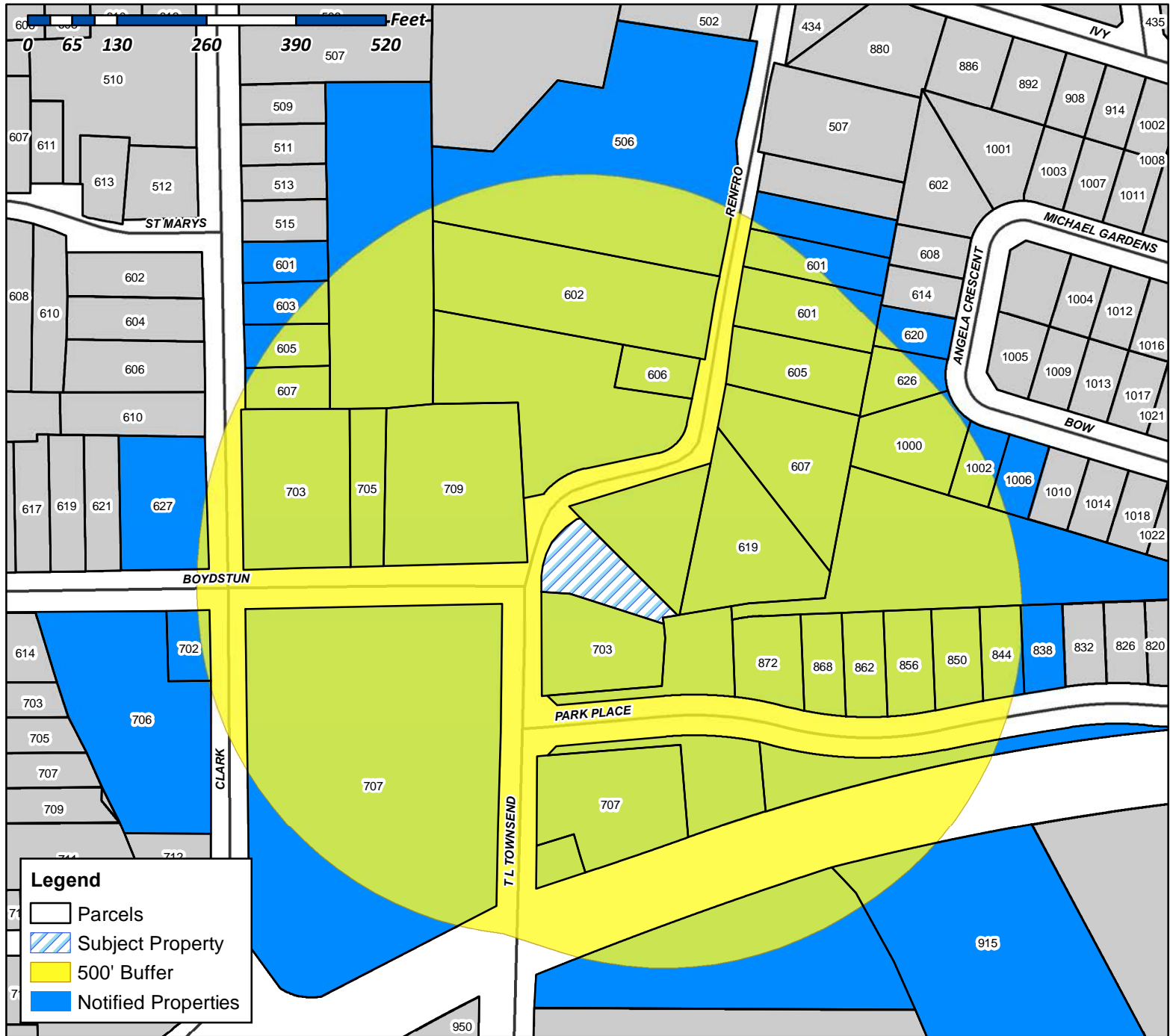
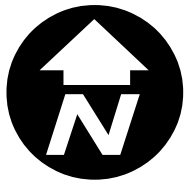
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City of Rockwall

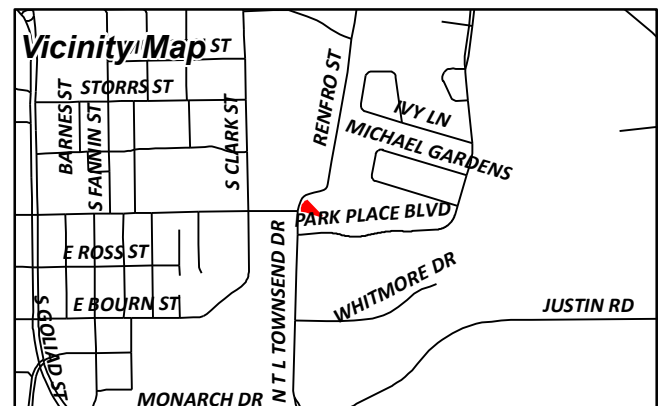
Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2020-048
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 701 N. TL Townsend Drive

Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745



KENNEDY BRENDA K
1630 SHORES BLVD
ROCKWALL, TX 75087

PLUNKETT NEIL F AND GAYLA A
1000 BOW ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
1002 BOW ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
1006 BOW ST
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
1498 HUBBARD DR
FORNEY, TX 75126

HARRIS RICHARD & JUDY
210 GLENN AVE
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
305 PARK PLACE BLVD
ROCKWALL, TX 75087

PLUNKETT NEIL F AND GAYLA A
4 MANOR CT
HEATH, TX 75032

WARDELL JOHN P AND JULIE ANN C
506 RENFRO ST
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

SEXTON SHAWN AND AMY
5505 RANGER DR
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
601 RENFRO ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
601S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

RIVERA SARA ELIA
603S CLARK ST
ROCKWALL, TX 75087

CALDWELL KEVIN L & LINDA D
605 RENFRO ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
606 RENFRO ST
ROCKWALL, TX 75087

HENSON WILLIAM AND TIA
607 MOUNTCASTLE DR
ROCKWALL, TX 75087

HARRINGTON DEBORAH
607 RENFRO ST
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED
607 SOUTH CLARK STREET
ROCKWALL, TX 75087

ABBOTT TODD & WHITNEY
619 RENFRO ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
620 ANGELA CRESCENT
ROCKWALL, TX 75087

HENSON WILLIAM AND TIA
626 ANGELA CRESCENT
ROCKWALL, TX 75087

KNOWLES CHRISTOPHER RICHARD AND
VICTORIA NGOC TRAN-KNOWLES
627 EAST BOYDSTUN AVENUE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
627 SORITA CIR
HEATH, TX 75032

HARSTROM STUART & SUSAN
675 DANIELLE CT
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
702 S CLARK ST
ROCKWALL, TX 75087

HARRIS RICHARD & JUDY
703 TOWNSEND DR
ROCKWALL, TX 75087

HOGUE ALLEN
703 E BOYSTUN AVE
ROCKWALL, TX 75087

HOGUE ALLEN
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
% DOUGLAS A KAUFMANN
706 S CLARK ST
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT COMPANY
707 TOWNSEND
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
707 S CLARK
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

COX GERALD GLEN & ROSALBA
815 T L TOWNSEND SUITE 101
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
838 PARK PLACE BLVD
ROCKWALL, TX 75087

HARSTROM STUART & SUSAN
844 PARK PLACE BLVD
ROCKWALL, TX 75087

HUSSONG BRETT AND LAUREN
850 PARK PLACE BLVD
ROCKWALL, TX 75087

SEXTON SHAWN AND AMY
856 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
862 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
868 PARK PLACE BLVD
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
872 PARK PLACE BLVD
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
880 IVY LANE
ROCKWALL, TX 75087

COUNTY OF ROCKWALL
915 WHITMORE
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-048: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request by Brenda Kennedy for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-048: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

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Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
☒ I am opposed to the request for the reasons listed below.

The "front elevation" appears to be a boarded up shed. That is detrimental to the area and home values. I am sure a better

Name: Bill Bricker

Park Trace

Address:

305 Park Trace Blvd., Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Gamez, Angelica

From: bill@colventures.com
Sent: Monday, November 23, 2020 3:11 PM
To: Planning
Subject: Z 2020-48 SUP

The Park Place HOA objects to this application as the front of the house does not face Townsend and so presents a poor image to the street. Park place has work tirelessly to improve the area and we do not feel this orientation is complementary to the area and especially to the house to the south which recently cleaned and renovated. The entrance to Park Place on Townsend is important and the new house should help keep the image being created.

Thanks,

Bill

Bill Bricker

Columbia Development Company, LLC
305 Park Place Blvd.
Rockwall, TX 75087
972-722-2439

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Gamez, Angelica

From: wade91805@yahoo.com
Sent: Monday, November 23, 2020 6:52 PM
To: Planning
Subject: 701 N T.L Townsend

I am against the SUP for 701 T. L. Townsend. The front elevation is unacceptable and does not reflect the community. The side that faces the street should be the front of the home. There should be no budget impact to orient the home better.

If I can provide further input please do not hesitate to reach out to me.

Respectfully,
Wade Walker
426 Jordan Farm Circle
Rockwall 75087

Sent from my iPhone

This email was scanned by Bitdefender

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Gamez, Angelica

From: Nicole Cox <nicolecoxdesigns@gmail.com>
Sent: Tuesday, November 24, 2020 9:57 AM
To: Planning
Subject: CASE # Z2020-048

To whom it may concern,

I am opposed to the to the request, case Z2020-048, due to the reasons listed below:

I am concerned with the aesthetics of the "front elevation". If this front elevation design faces Renfro Street this may give an uninviting and industrial appearance versus single home residence. The current front elevation design illustrates 4 same sized windows with Bermuda shutters, shutters hinged at the top vs sides, and a flat facade. These 3 design elements together illustrate an uninviting and commercial appearance. Bermuda shutters are a beautiful touch, especially on the coast, if done correctly by adding different aesthetics and values and the overall design is copacetic and comprehensive. Long story short, the front elevation does not make any sense, is closed off and is not aesthetically pleasing. Counterintuitive to keeping the integrity of our historic downtown partaing to new single residence builds.

Thank you for your time and consideration.

Sincerely,
Nicole Cox
613 Park Pl Blvd, Rockwall, TX 75087



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CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Gamez, Angelica

From: gtbrewer4676@cebridge.net
Sent: Friday, November 27, 2020 12:19 PM
To: Planning
Subject: SUP Near Townsend Entrance of Park Place Division, Case No. Z2020-048

Gentlemen: As owners of property in the sub-division of Park Place at Old Town, we wanted to state our opinion on the proposed single family house to be built for Brenda Kennedy, owner, at 701 N. T.L. Townsend Drive, Rockwall. The proposed street facade of the house appears to be in actuality the rear of the house. This is not aesthetically pleasing for the general area, is an inappropriate look, and would deter, in our opinion, from the surrounding properties' values since it is so very near to the entrance of our sub-division. Therefore, we are entering our protest with you and request that the present plan be re-thought to make for a more pleasing and appropriate residential look.

--

Robert and Gayle Brewer
1004 Michael Gardens
Rockwall, TX 75087

"In God We Trust"

This email was scanned by Bitdefender

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Ryan Miller, AICP
Director of Planning & Zoning



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Case No. Z2020-048: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

A don't have a problem with a home being built at that location, but the design needs to fit the surrounding neighborhood.

Name:

Stuart Harstrom

Address:

844 Park Place Blvd Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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The design of the house does not appear to fit in with the surrounding neighborhood.

Name: Susan Harstrom

Address: 844 Park Place Blvd, Rockwall 75087

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① SITE PLAN

SCALE: 1"=15'

NOTE

1. TOPOGRAPHICAL INFORMATION SUPPLIED BY A THIRD PARTY. CADAZIN IS NOT RESPONSIBLE FOR ANY TOPOGRAPHICAL OR SURVEY INFORMATION. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED. MEASUREMENTS ARE APPROXIMATE AND ARE FOR LAYOUT PURPOSES ONLY.
2. OWNER AND BUILDER ARE RESPONSIBLE FOR VERIFYING ALL PROPERTY SETBACKS, RESTRICTIONS, AND ELEVATION MEASUREMENTS.
3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS



2

ROOF PLAN

SCALE: 1/4"=1'

SHANNON NEWSOM	MARK NEWSOM
----------------	-------------

ANNON NEWSOM MARK NEW
CADAZIGN

3709 CR 2522
ROYSE CITY, TEXAS 75178

469-338-9863

5) DRAWN BY:

DATE:

4/15/2020

SCALE:

AS SHOWN

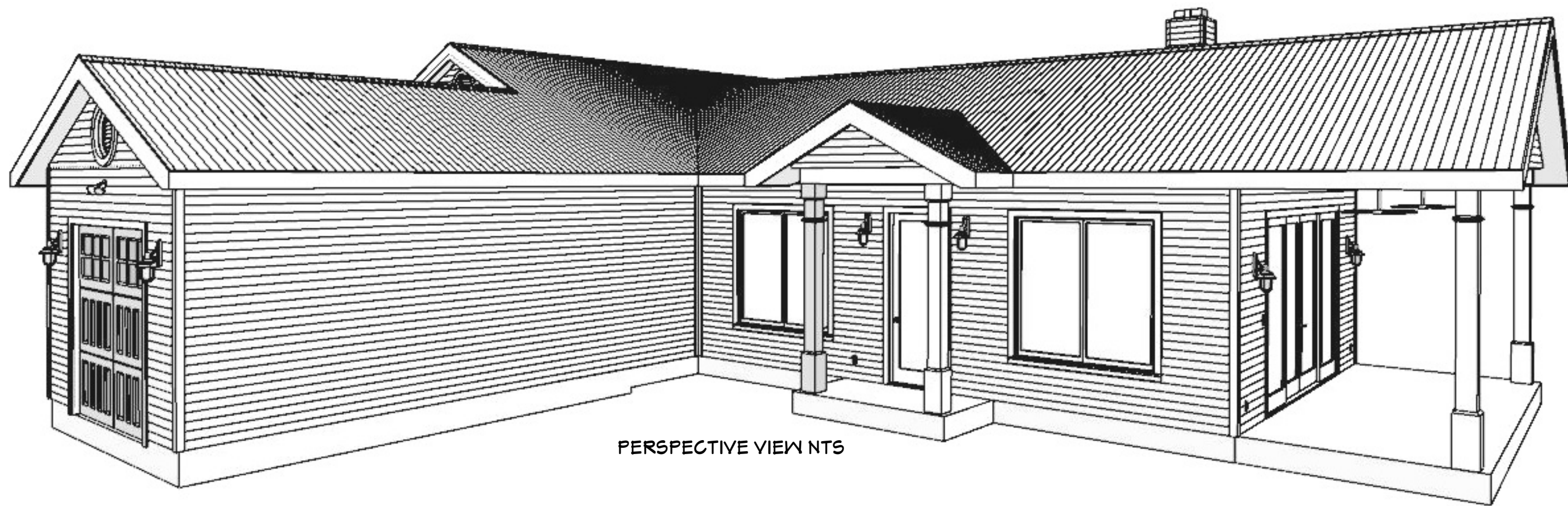
SHEET:

A-2

PLANS FOR: BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

TITLE:
SITE PLAN / ROOF PLAN

KENNEDY RESIDENCE: BRENDA KENNEDY



GENERAL NOTES:

- THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
- DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
- CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
- CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTORS PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY FACET OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULING.
- ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION TO THE GENERAL CONTRACTOR.
- CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVER EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
- CONTRACTORS OR SUBCONTRACTORS SHALL TAKE NOTE THAT ANY COST CAUSED BY INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
- DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY CUTTING OR PATCHING OF ANY EXISTING FINISHED WORK SHALL MATCH ADJOINING SURFACES.
- SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL MEET OR EXCEED OSHA REQUIREMENTS.
- CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ANY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC., THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

CONTRACTOR NOTES:

- ALL EXTERIOR WALLS SHALL BE 2 x 4 U.N.O.
- ALL INTERIOR WALLS SHALL BE 2 x 4 U.N.O.
- ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTOM CABINETRY.
- ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
- SLIGHT ADJUSTMENT IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
- UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER PRIOR TO CONSTRUCTION.
- DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED U.N.O.
- WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENINGS WITH MANUFACTURER.
- FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE.

Layout Page Table

Label	Title
A-1	COVER PAGE
A-2	SITE PLAN AND ROOF PLAN
A-3	ELEVATIONS
A-4	FLOOR PLAN / ELECTRICAL PLAN

PLANS FOR:

BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

TITLE: COVER PAGE

SHANNON NEWSON MARK NEWSON

CADAZIGN
3704 CR 2522
ROYSE CITY, TEXAS 75119
469-538-4863

DRAWN BY:

DATE:

4/15/2020

SCALE:

AS SHOWN

SHEET:

A-1

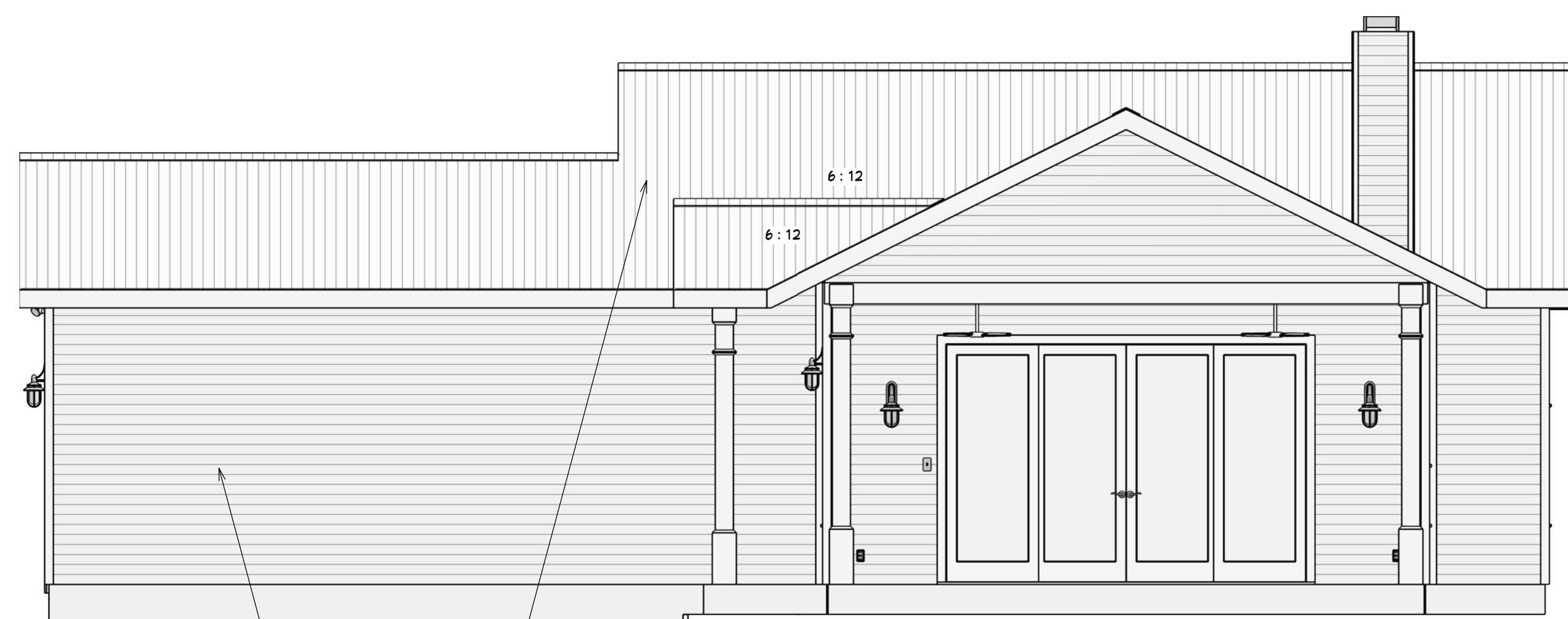


ALL SHUTTERS TO BE
HINGED AT TOP AS SHOWN

PAINTED SIDING

METAL ROOF

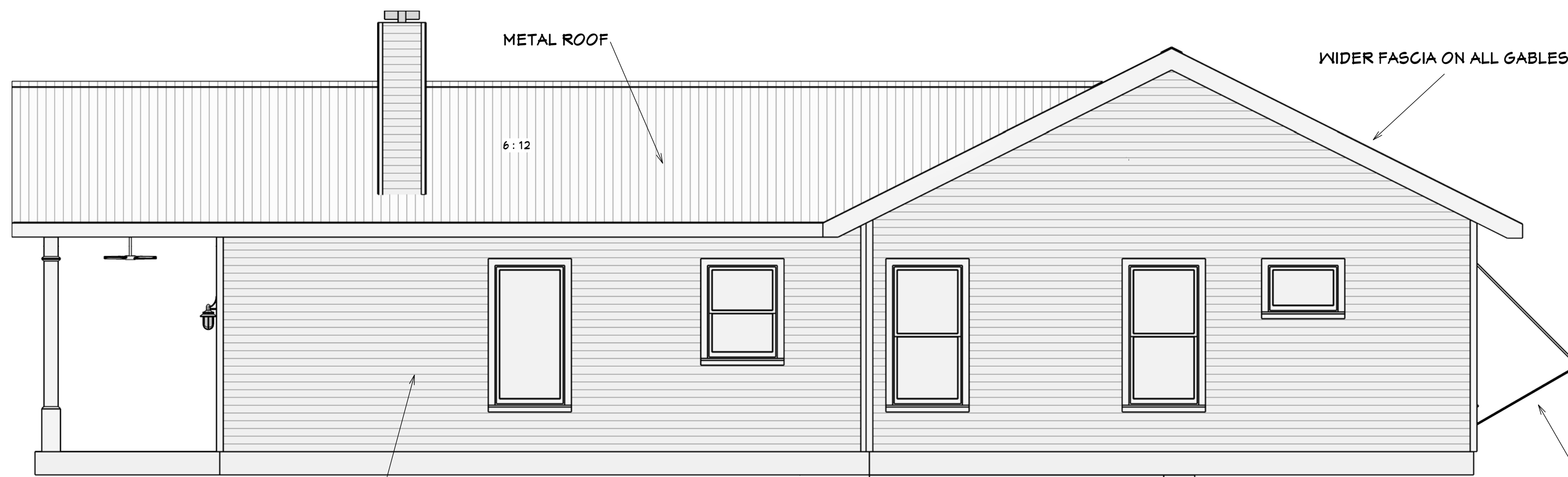
1 FRONT ELEVATION
SCALE: 1/4"=1'



PAINTED SIDING

METAL ROOF

2 REAR ELEVATION
SCALE: 1/4"=1'



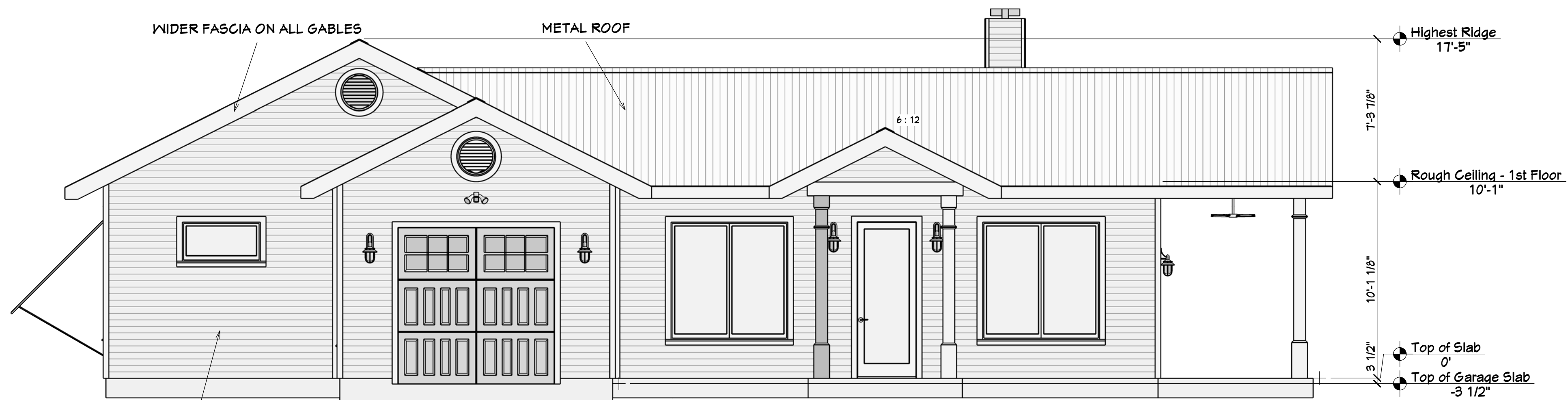
PAINTED SIDING

METAL ROOF

WIDER FASCIA ON ALL GABLES

3 LEFT ELEVATION
SCALE: 1/4"=1'

ALL SHUTTERS TO BE
HINGED AT TOP AS SHOWN



PAINTED SIDING

WIDER FASCIA ON ALL GABLES

METAL ROOF

4 RIGHT ELEVATION
SCALE: 1/4"=1'

PLANS FOR: BRENDA KENNEDY
RENFRO STREET
ROCKWALL, TEXAS 75087

TITLE: ELEVATIONS

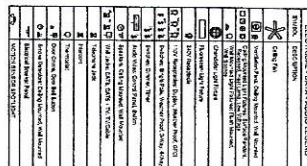
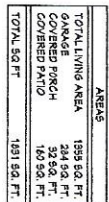
SHANNON NEWSON MARK NEWSON
CADAZIGN
3704 CR 2522
ROYSE CITY, TEXAS 75178
469-338-4863
DRAWN BY:

DATE:
4/15/2020

SCALE:
AS SHOWN

SHEET:

A-3



NOTES:
GAS TO BE SUPPLIED FOR HEATER, RANGE
OUTDOOR GRILL / FIRE PIT.

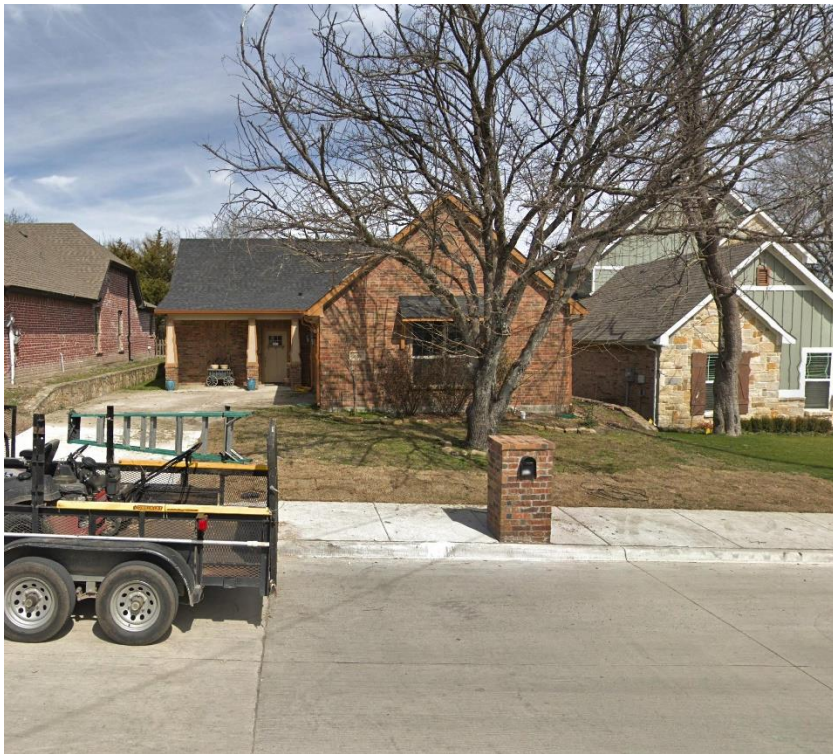
Carbur monoxid-

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
611 E Boydston Avenue	Single-Family Home	2013	1,712	N/A	Brick
613 E Boydston Avenue	Single-Family Home	2013	1,712	N/A	Brick
615 E Boydston Avenue	Single-Family Home	2016	2,403	N/A	Stone/Siding
619 E Boydston Avenue	Single-Family Home	2017	1,172	N/A	Brick/Stucco
621 E Boydston Avenue	Single-Family Home	2017	1,906	N/A	Brick
627 E Boydston Avenue	Single-Family Home	2018	1,970	N/A	Brick
709 E Boydston Avenue	Single-Family Home	1980	1,120	1,180	Siding
506 Renfro Street	Single-Family Home	1975	1,058	284	Siding
507 Renfro Street	Single-Family Home	1961	1,856	450	Siding
601 Renfro Street	Single-Family Home	1925	1,000	720	Siding
602 Renfro Street	Single-Family Home	1975	1,796	N/A	Siding
605 Renfro Street	Single-Family Home	1975	1,605	192	Siding
606 Renfro Street	Single-Family Home	1925	1,342	N/A	Siding
607 Renfro Street	Single-Family Home	1998	1,520	N/A	Siding
619 Renfro Street	Single-Family Home	2002	1,567	N/A	Siding
701 N TL Townsend Drive	RCAD Indicates Vacant		Subject Property		N/A
703 N TL Townsend Drive	Single-Family Home	1975	934	1,092	Siding
703 E Boydston Avenue	Other	1980	N/A	N/A	N/A
707 S Clark Street	Other	N/A	N/A	N/A	N/A
Averages:		1970	1,380		



611 E Boydston Avenue



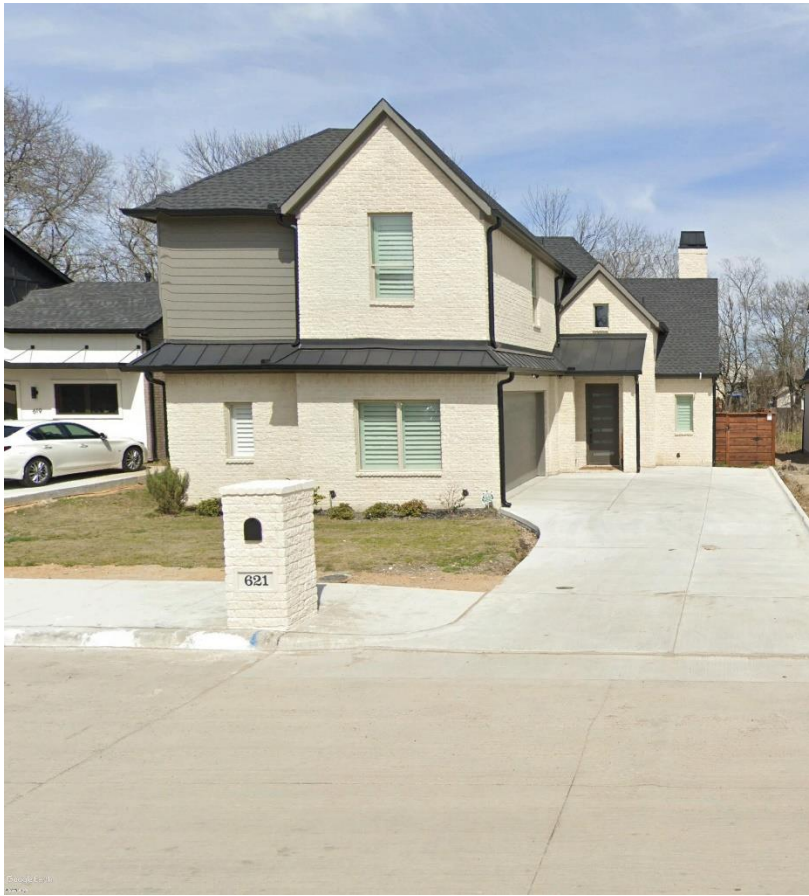
613 E Boydston Avenue



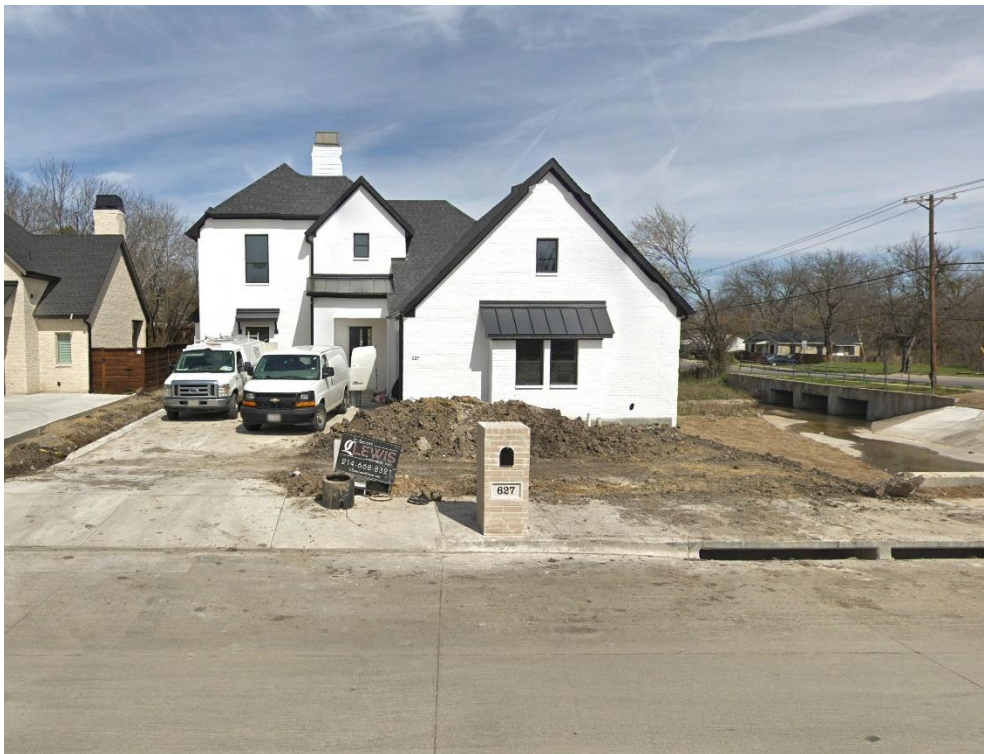
615 E Boydston Avenue



619 E Boydston Avenue



621 E Boydston Avenue



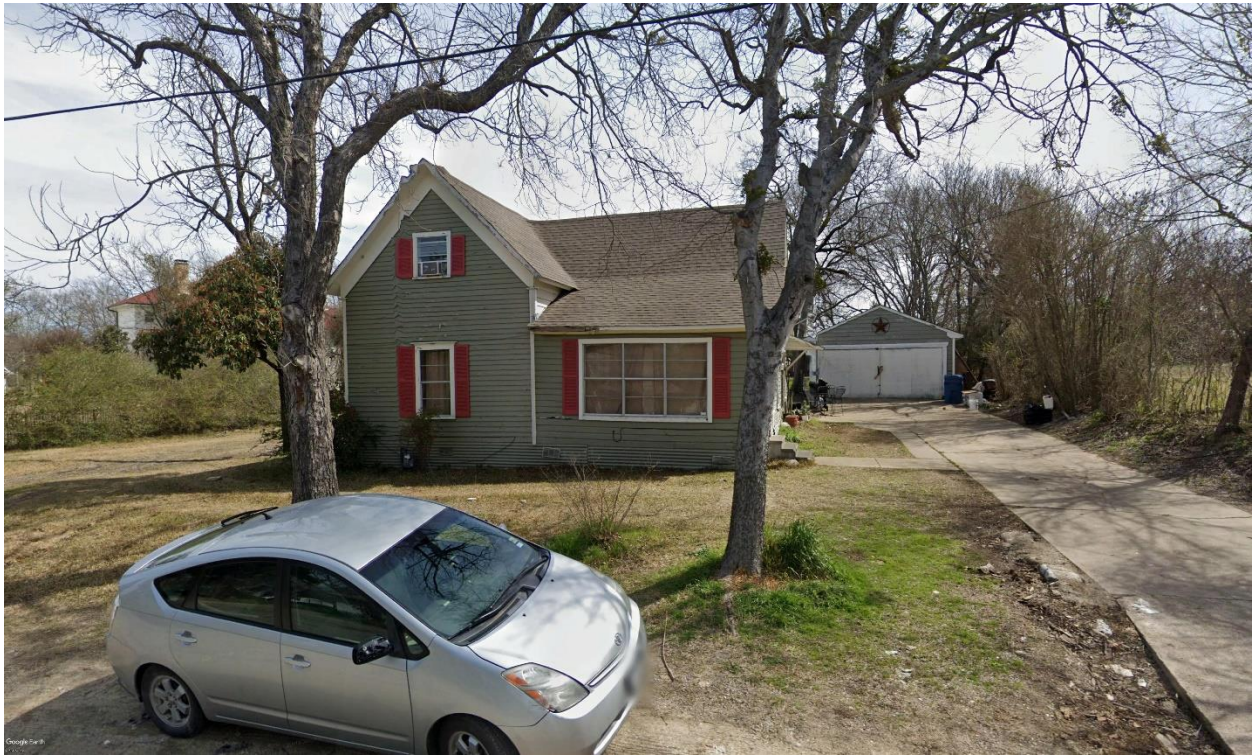
627 E Boydston Avenue



709 E Boydston Avenue



506 Renfro Street



507 Renfro Street



601 Renfro Street



602 Renfro Street



605 Renfro Street



606 Renfro Street



607 Renfro Street



619 Renfro Street



701 N TL Townsend Drive



703 N TL Townsend Drive



703 E Boydston Avenue



707 S Clark Street

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.34-ACRE TRACT OF LAND, IDENTIFIED AS LOT 1, BLOCK A, RICHARD HARRIS SUBDIVISION #5, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Brenda Kennedy for the approval of a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow the construction of a single-family home on a 0.34-acre tract of land being described as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T.L. Townsend Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow for the construction of a single-family home adjacent to established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family*

7 (SF-7) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

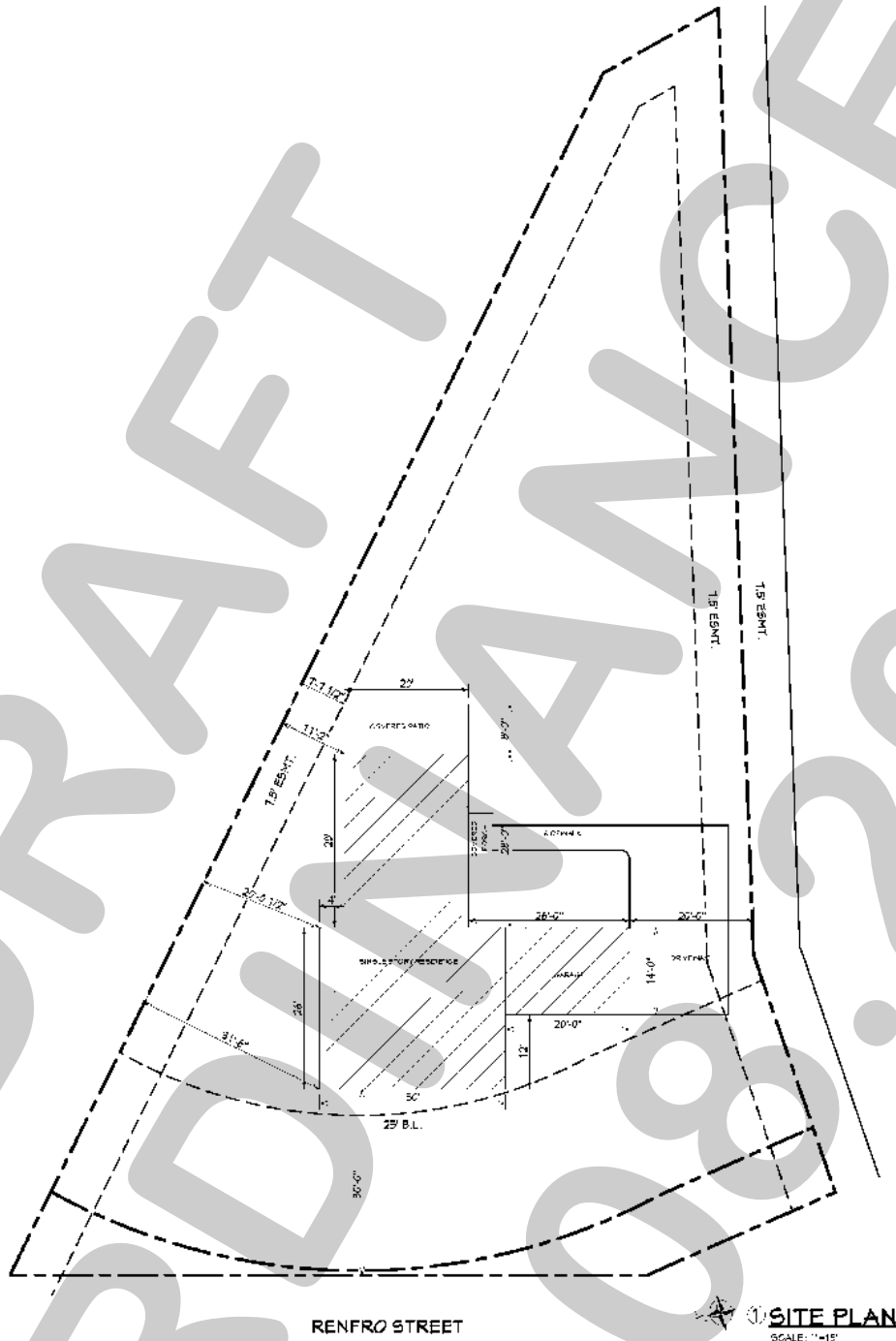
Exhibit 'A'
Location Map and Survey

Address: 701 N. Townsend Drive

Legal Description: Lot 1, Block A, Richard Harris Subdivision #5

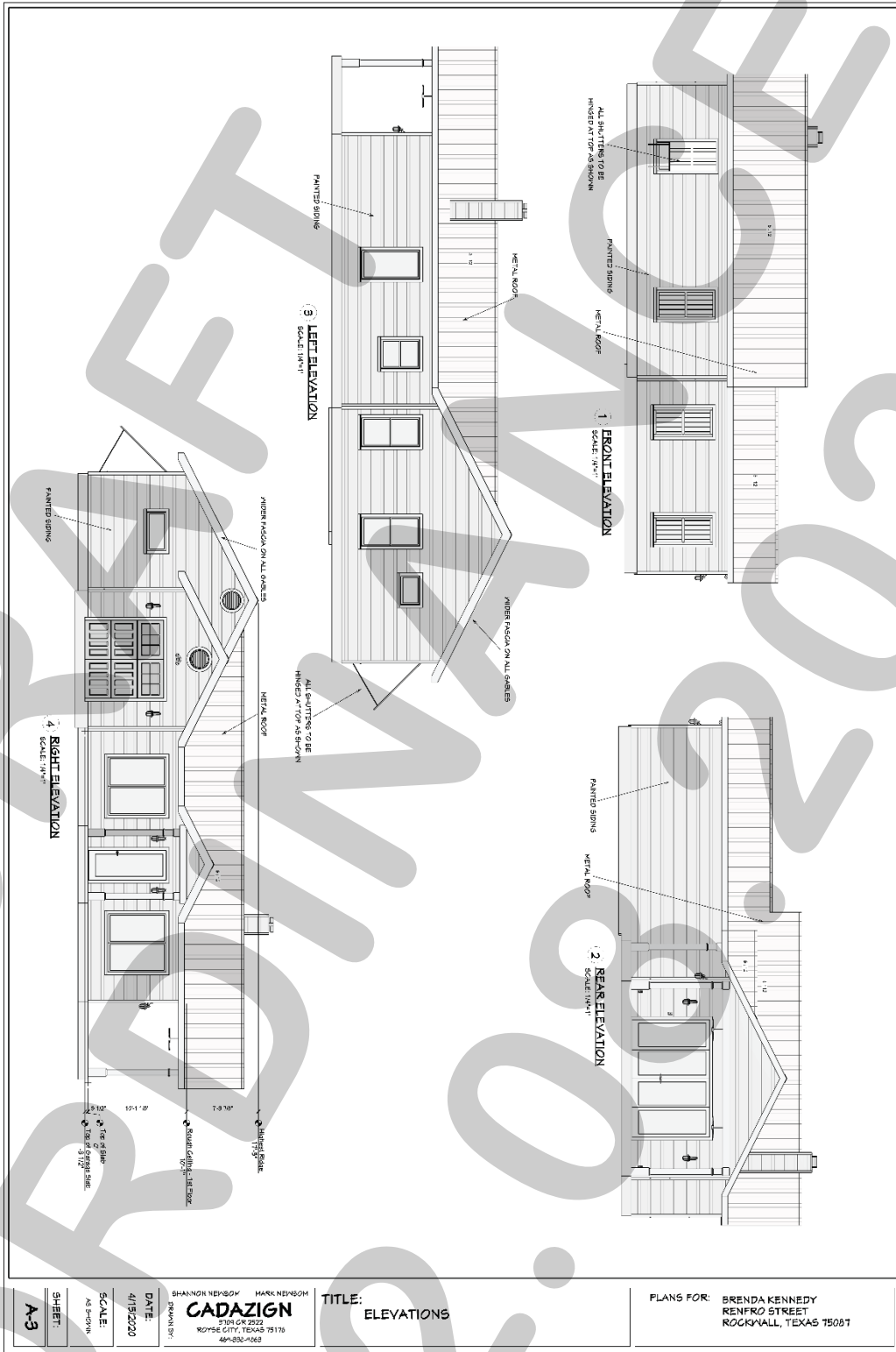


Exhibit 'B':
Residential Plot Plan



- NOTE:**
1. TOPOGRAPHICAL INFORMATION SUPPLIED BY A THIRD PARTY. CADAZIGN IS NOT RESPONSIBLE FOR ANY TOPOGRAPHICAL OR SURVEY INFORMATION. ALL MEASUREMENTS SHOULD BE FIELD VERIFIED. MEASUREMENTS ARE APPROXIMATE AND ARE FOR LAYOUT PURPOSES ONLY.
 2. OWNER AND BUILDER ARE RESPONSIBLE FOR VERIFYING ALL PROPERTY SETBACKS, RESTRICTIONS, AND ELEVATION MEASUREMENTS.
 3. OWNER AND OR BUILDER RESPONSIBLE FOR DETERMINING AND DESIGNING RETAINING WALLS AND STRUCTURAL STEM WALLS

Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: December 8, 2020

APPLICANT: Sam Hernandez

CASE NUMBER: Z2020-049; *Specific Use Permit (SUP) for a Residential Infill for 304 E. Bourn Street*

SUMMARY

Hold a public hearing to discuss and consider a request Sam Hernandez for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2342-acre parcel of land identified as Lot 48 of the Canup's Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 304 E. Bourn Street, and take any action necessary.

BACKGROUND

Based on the Dedication Deed for the Canup Addition and *Ordinance No. 59-02*, the subject property was annexed sometime after December 4, 1944 and before July 6, 1959. The subject property was originally platted as Lot 48 of the Canup's Subdivision on December 1, 1944. According to the City's historic zoning maps, the subject property was zoned Commercial (C) District as of January 3, 1972. Between May 16, 1983 and December 7, 1993, the subject property was rezoned Single-Family 7 (SF-7) District. Based on the reviewed information the subject property has remained vacant since its annexation into the City of Rockwall.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 304 E. Bourn Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is E. Bourn Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a house of worship (*i.e. New Caldonia Baptist Church; 301 E. Bourn Street*) zoned Single-Family 7 (SF-7) District. North of this is a single-family home (*i.e. 810 Davey Crockett Street*), a duplex (*i.e. 807 & 809 Sam Houston Street*) and two (2) vacant parcels of land. All of these properties are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property are two (2) homes zoned Single-Family 7 (SF-7) District. Beyond this is Emma Jane Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several single-family homes zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property are three (3) homes (*i.e. 306 & 308 E. Bourn Avenue and 902 Davey Crockett Street*) zoned Single-Family 7 (SF-7) District. Beyond this is Davy Crockett Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the

OURHometown Vision 2040 Comprehensive Plan. East of this is one (1) single-family home zoned Single-Family 7 (SF-7) District. Beyond this are three (3) tracts of land (*i.e. Tracts 14, 37 & 37-2, B. J. T. Lewis Survey, Abstract No. 255*) zoned Planned Development District 52 (PD-52) for Heavy Commercial (HC) District land uses.

West: Directly west of the subject property is a 0.121-acre vacant parcel of land (*i.e. Lot 49 of the Canup's Subdivision*) zoned Single-Family 7 (SF-7) District. Beyond this is Sam Houston Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) single-homes on four (4) parcels of land (*i.e. 202, 204, 206 & 208 E. Bourn Street*) zoned Single-Family 7 (SF-7) District. Beyond this are four (4) parcels of land with two (2) commercial buildings situated on them (*i.e. Sonic Drive-In and Mattress Depot*). These properties front on to S. Goliad Street [SH-205], and are zoned Commercial (C) District.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located within the Canup's Subdivision, which has been in existence since December 1, 1944, consists of 51 residential lots, and is ~90.90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within an established subdivision, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on E Bourn Street, Davy Crockett, Emma Jane, and Sam Houston compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on E Bourn Street, Davy Crockett, Emma Jane, Sam Houston and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face E. Bourn Street.
Year Built	1950-2018	N/A
Building SF on Property	928 SF – 1,974 SF	X > 1,100 SF
Building Architecture	Single Family Homes	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 20-Feet and 30-Feet	21'-4"
Side	Estimated between zero (0) and greater than ten (10) feet.	7'-4"
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	65'-7"
Building Materials	Brick and Siding	Stucco
Paint and Color	Red, White, Grey, Green, Yellow and Brown	White
Roofs	Composite and Asphalt Shingles	Composite Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Front-facing and no garages.	The garage will be attached and located approximately 9'-10" behind of the front façade.

According to Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry

garages ...” In this case, the applicant is proposing to orient the garage in a flat front entry format putting the garage 9’-10” behind the front façade of the single-family home. If this Specific Use Permit (SUP) request is approved by the Planning and Zoning Commission and City Council, the garage setback requirement will be waived. Staff should note that other single-family homes in the neighborhood have garages that are flush or just behind the front façade of the single-family home, and that this garage orientation is not uncharacteristic of this area. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements as stipulated by the Unified Development Code (UDC) for a property in a Single-Family 7 (SF-7) District and the Southside Residential Neighborhood Overlay (SRO) District; however, staff should point out that homes in this area are primarily faced with brick and siding materials, and that no other homes in the *Southside Residential Neighborhood Overlay (SRO) District* utilize stucco (or any similar materials). While this is not an uncommon exterior building material for single-family homes in the City, the use of this material may make this particular home less compatible architecturally with other homes in this area. For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along E. Bourn Street, Davy Crockett, Emma Jane, Sam Houston and also provided the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On November 18, 2020, staff mailed 108 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Highridge Estates Homeowner’s Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC).

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit ‘B’* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit ‘C’* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-049

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 304 E. BOURN ST ROCKWALL TX 75087

Subdivision _____ Lot 48 Block _____

General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning _____ Current Use _____

Proposed Zoning _____ Proposed Use _____

Acreage 0.34 Lots [Current] 1 Lots [Proposed] 1

- ☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3162 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner SARA HERNANDEZ

Contact Person _____

Address 4504 HAMPSHIRE BLVD

City, State & Zip FORT WORTH, TX 76103

Phone 310-293-0093

E-Mail San-miguel14@hotmail.com

☐ Applicant SARA HERNANDEZ

Contact Person _____

Address 4504 HAMPSHIRE BLVD

City, State & Zip FORT WORTH, TX 76103

Phone 310-293-0093

E-Mail San-miguel14@hotmail.com

NOTARY VERIFICATION [REQUIRED]

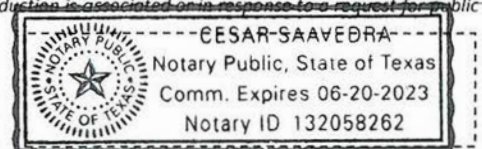
Before me, the undersigned authority, on this day personally appeared Sara Hernandez [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$_____, to cover the cost of this application, has been paid to the City of Rockwall on this the 10 day of November, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated with a request for public information."

Given under my hand and seal of office on this the 10 day of November, 2020.


Owner's Signature _____

Notary Public in and for the State of Texas _____



My Commission Expires 06-20-2023



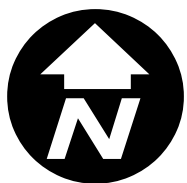
Z2020-049- SUP FOR 304 E. BOURN STREET
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

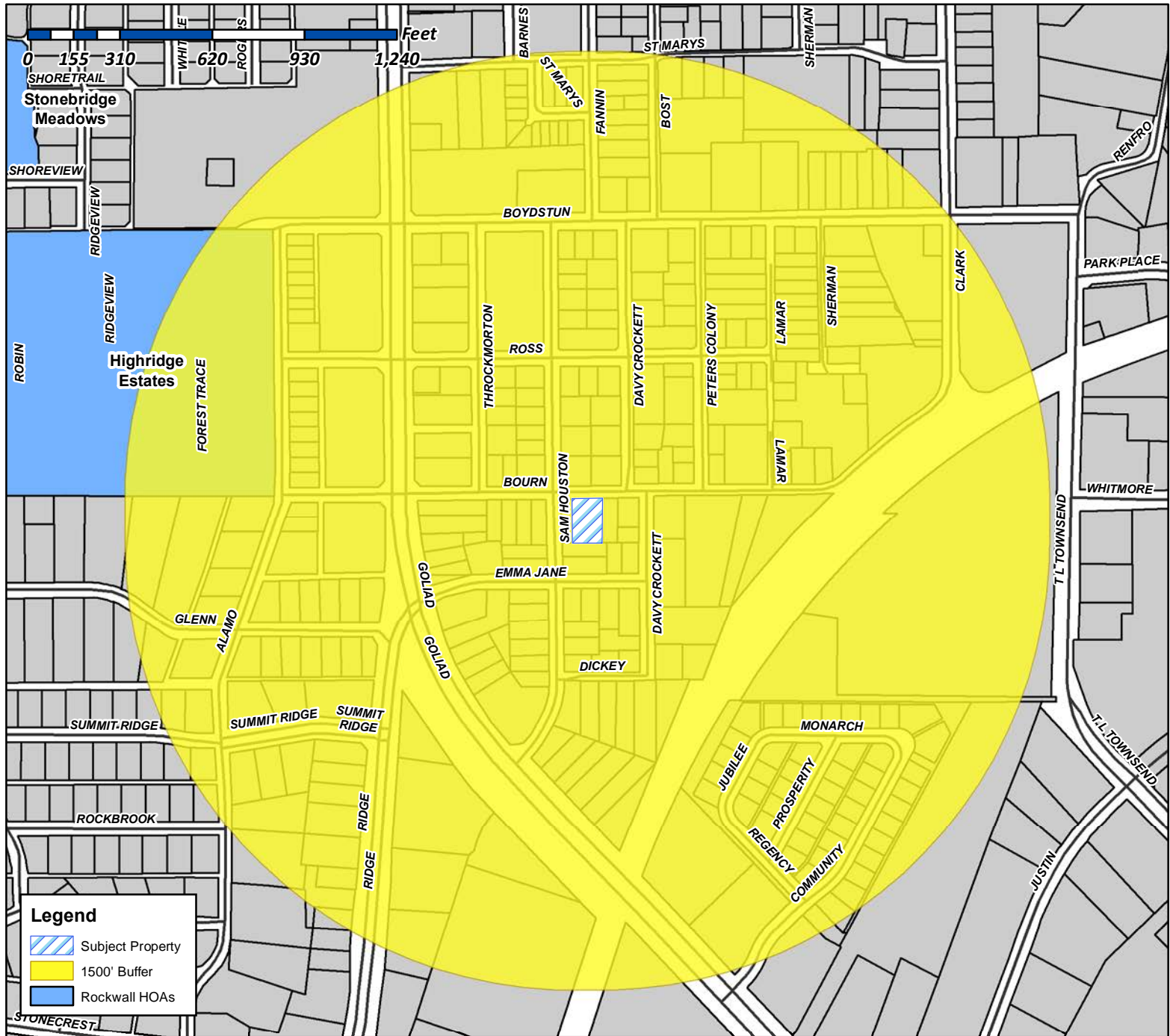




City of Rockwall

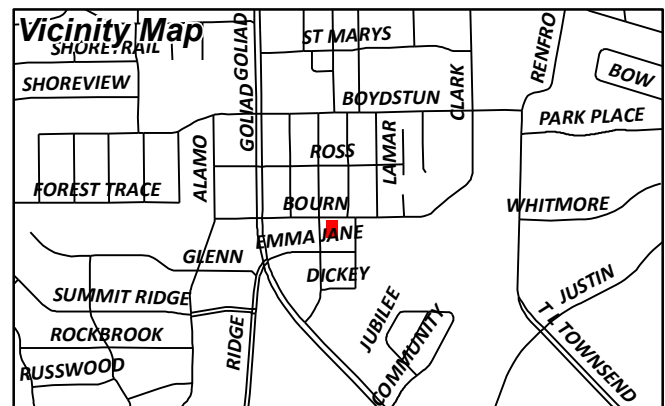
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Case Number: Z2020-049
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 304 E. Bourn Street

Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Wednesday, November 18, 2020 2:30 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: HOA Map (11.13.2020).pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, November 20, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 8, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-049 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request Sam Hernandez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.2342-acre parcel of land identified as Lot 48 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 304 E. Bourn Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

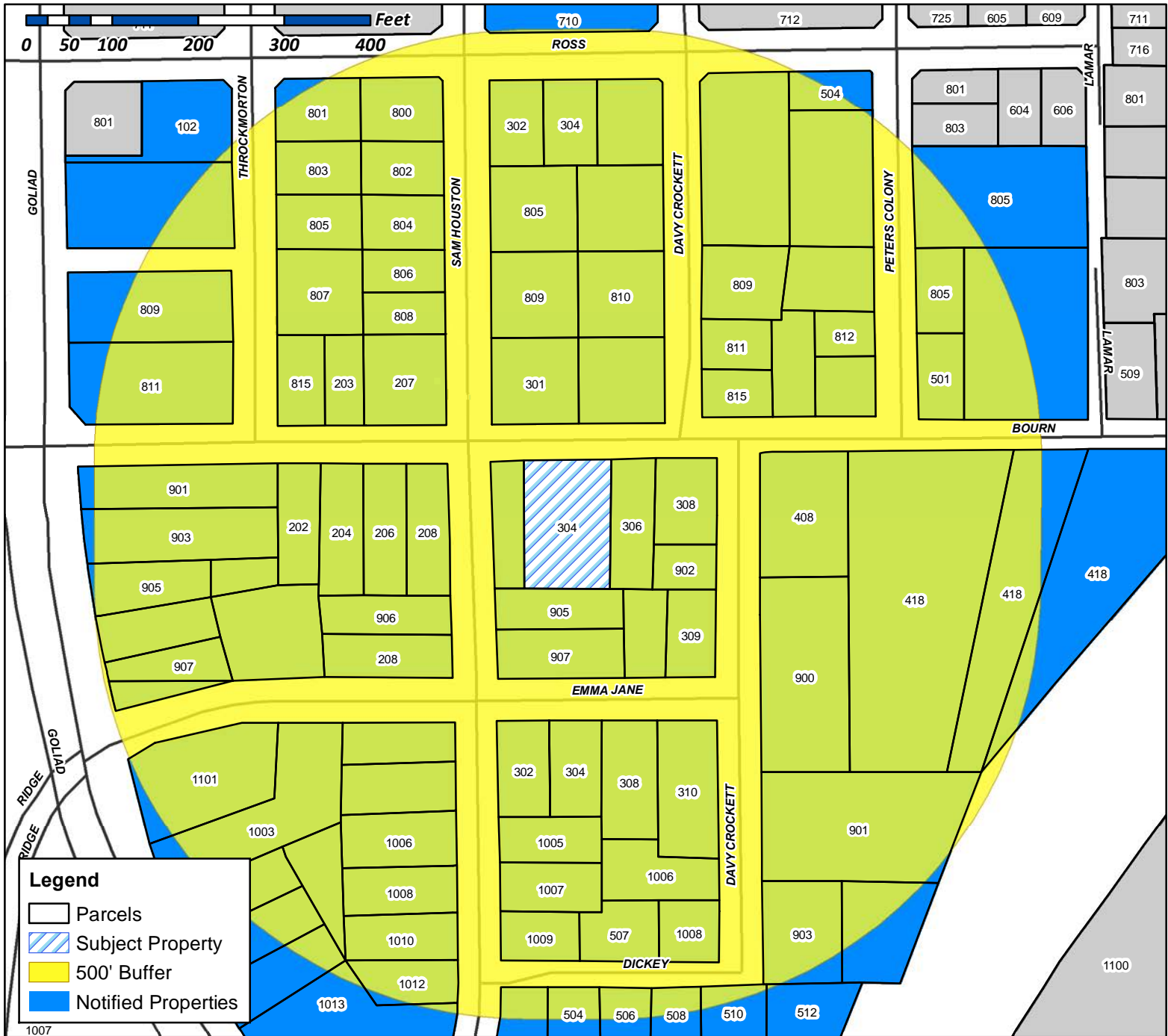
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City of Rockwall

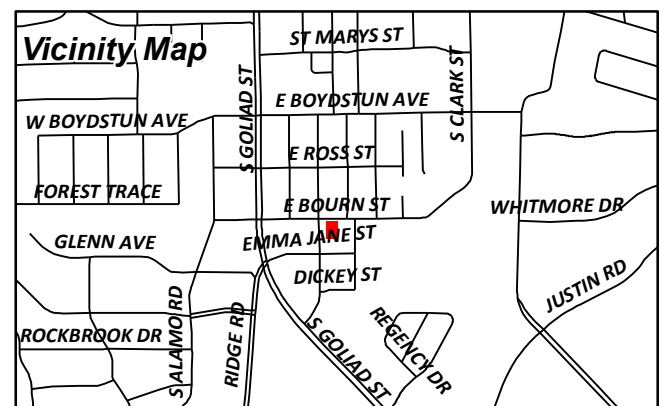
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Case Number: Z2020-049
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 304 E. Bourn Street

Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745



EDWARDS JASON
10 DANCING WATERS
ROCKWALL, TX 75032

ERVIN RICHARD L & TERRI K
C/O SONIC
1001 S GOLIAD ST
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
1003 S GOLIAD
ROCKWALL, TX 75087

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
1005 SAM HOUSTON
ROCKWALL, TX 75087

PRICE ALVIN
1006 DAVY CROCKETT
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON ST
ROCKWALL, TX 75087

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
1007 SAM HOUSTON
ROCKWALL, TX 75087

JONES EVELYN
1008 DAVY CROCKETT ST
ROCKWALL, TX 75087

EMMANUEL TABERNACLE CHURCH
1008 SAM HOUSTON
ROCKWALL, TX 75087

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

CASTILLO PEDRO
1009 SAM HOUSTON ST
ROCKWALL, TX 75087

EFENEY WILLIAM M
1009 S GOLIAD
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1010 SAM HOUSTON
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1012 SAM HOUSTON
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1013 S GOLIAD
ROCKWALL, TX 75087

ROHLF DAVID E
102 E ROSS AVE
ROCKWALL, TX 75087

ANDERSON ALLEN
1208 S LAKESHORE DR
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

DENTON GLENDA K & LANCE
1500 ASHLEY CT
ROCKWALL, TX 75032

ESTATE OF JOHN L MCGUIRE AND RUBY
MCGUIRE
C/O LORA MITCHELL
1528 VERMONT AVE
LANCASTER, TX 75134

BATRES MARIA DELL REFUGIO
202 BOURN STREET
ROCKWALL, TX 75087

LRG GROUP LLC
202 E RUSK ST
ROCKWALL, TX 75087

MOTON R T
203 E BOURN ST
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

HECKARD ALLEN
207 BOURNAVE
ROCKWALL, TX 75087

GE QIQING AND
JINGJING ZHANG
207 GASPAR
IRVINE, CA 92618

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

LIU HOWARD HEYUN
208 EMMA JANE ST
ROCKWALL, TX 75087

WAFFER JULIUS
3002 WELDON LN
ROYSE CITY, TX 75189

NEW CALDONIA BAPTIST CHURCH
301 E BOURNE AVE
ROCKWALL, TX 75087

VILLALOBOS JOSE MARVIN & JACKELIN IZELA
302 E ROSS
ROCKWALL, TX 75087

GE QIQING AND
JINGJING ZHANG
302 EMMA JANE
ROCKWALL, TX 75087

CASTLEROCK CUSTOM BUILDERS LLC
304 BOURN
ROCKWALL, TX 75087

DAVIDSON JEFFREY LEE & MELIZA IBARRA
304 E ROSS AVE
ROCKWALL, TX 75087

LIU HOWARD HEYUN
304 EMMA JANE
ROCKWALL, TX 75087

LRG GROUP LLC
306 BOURN AVE
ROCKWALL, TX 75087

JONES ARCHIE & JUANITA
308 E BOURN ST
ROCKWALL, TX 75087

ELLERD TERESA
308 EMMA JANE ST
ROCKWALL, TX 75087

CUMMINGS JOHN AND LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

BONNER JACK L AND VALERIE N
309 EMMA JANE ST
ROCKWALL, TX 75087

JONES LENA EST
C/O CHARLES R HUMPHREY
310 EMMA JANE
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

JONES LENA EST
C/O CHARLES R HUMPHREY
405 ER ELLIS
ROCKWALL, TX 75087

WALTER MARY
408 E BOURN ST
ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

ANGULAR PIEDRA A/G
418 E BOURN ST
ROCKWALL, TX 75087

JOBE BRYAN
436 EMERSON DRIVE
ROCKWALL, TX 75087

LIU HOWARD HEYUN
4577 JAGUAR DR
PLANO, TX 75024

HECKARD ALLEN
4906 FREEMAN DR
ROWLETT, TX 75088

MARTIN HELEN
501 E BOURN ST
ROCKWALL, TX 75087

ZELADA WILLIAM
502 TWIN VIEW
HEATH, TX 75032

MATHIS MICHAEL L & DEBRA L
504 DICKEY ST
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
504 ROSS
ROCKWALL, TX 75087

SIMS VERNA MAE
506 DICKEY ST
ROCKWALL, TX 75087

RODRIGUEZ ROGEOLO & MARIA
507 DICKEY ST
ROCKWALL, TX 75087

BROWN GEORGIA
508 DICKEY ST
ROCKWALL, TX 75087

ZELADA WILLIAM
510 DICKEY ST
ROCKWALL, TX 75087

WAFFER JULIUS
512 DICKEY ST
ROCKWALL, TX 75087

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

BRANNON ERMA LEE EST AND
MARVIN RAY BRANNON ETAL
6819 CLIFFWOOD DR
DALLAS, TX 75237

HEARD RHODA MAE
710 DAVY CROCKETT ST
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

BENNETT A L EST
C/O OLIVER LINVELL
712 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

EMMANUEL TABERNACLE CHURCH
7903 FERGUSON RD
DALLAS, TX 75228

ESTATE OF FRANKIE MAE ALLEN
80 THROCKMORTON
ROCKWALL, TX 75087

ESTATE OF JOHN L MCGUIRE AND RUBY
MCGUIRE
C/O LORA MITCHELL
800 SAM HOUSTON
ROCKWALL, TX 75087

LAFAYETTE ESTELLE
801 THROCKMORTON ST
ROCKWALL, TX 75087

JACKSON CALVIN
802 SAM HOUSTON ST
ROCKWALL, TX 75087

DANIELS ANNIE L
803 THROCKMORTON ST
ROCKWALL, TX 75087

DIXON ALMA
804 SAM HOUSTON ST
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
805 SAM HOUSTON
ROCKWALL, TX 75087

ESTATE OF FRANKIE MAE ALLEN
805 THROCKMORTON
ROCKWALL, TX 75087

PROGRESS DALLAS LLC
806 SAM HOUSTON ST
ROCKWALL, TX 75087

D&A REAL ESTATE PARTNERS LTD
807 THROCKMORTON
ROCKWALL, TX 75087

JONES MICHAEL G
808 SAM HOUSTON
ROCKWALL, TX 75087

JOHNSON MELDRIA
809 DAVY CROCKETT
ROCKWALL, TX 75087

LIVAY LLC
809 S GOLIAD
ROCKWALL, TX 75087

U S HOUSING AUTHORITY
809 SAM HOUSTON
ROCKWALL, TX 75087

STRANGE FREDERICK & PATRICIA
810 DAVY CROCKETT ST
ROCKWALL, TX 75087

BARRON BLAKELEIGH
811 DAVY CROCKETT ST
ROCKWALL, TX 75087

EDWARDS JASON
811SGOLIAD
ROCKWALL, TX 75087

CUMMINGS JOHN AND LORI
812 PETERS COLONY
ROCKWALL, TX 75087

HALL WILLA O
815 DAVY CROCKETT ST
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA
815 THROCKMORTON ST
ROCKWALL, TX 75087

DENTON GLENDA K & LANCE
900 DAVY CROCKETT
ROCKWALL, TX 75087

HENRY PATRICK AND JOLENE C
901 DAVY CROCKETT ST
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
901 S GOLIAD
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC
902 DAVY CROCKETT
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

JOBE BRYAN
903 DAVY CROCKETT
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
903 S GOLIAD
ROCKWALL, TX 75087

DIXON MARSHALL WADE
905 SAM HOUSTON
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
905 S GOLIAD
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

ANDERSON ALLEN
907 SAM HOUSTON
ROCKWALL, TX 75087

STATE OF TEXAS
907 S GOLIAD
ROCKWALL, TX 75087

CAIN REVOCABLE FAMILY TRUST AND
CREDIT SHELTER TRUST AND SURVIVORS TRUST
DEWAYNE CAIN TRUSTEE 305 STONEBRIDGE DR
ROCKWALL, TX 75087

CANALES ZAMORA FAMILY TRUST
ROMAN FRANCISCO CANALES & ROSA MARIA
ZAMORA MIRANDA-TRUSTEE
P O BOX 291
FATE, TX 75132

PAIGE RYAN PROPERTIES LLC
P. O. BOX 853
WYLIE, TX 75098

PRICE ALVIN
P.O. BOX 196
ROCKWALL, TX 75087

ROHLF DAVID E
PO BOX 1137
ROCKWALL, TX 75087

PROGRESS DALLAS LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

NEW CALDONIA BAPTIST CHURCH
PO BOX 481
ROCKWALL, TX 75087

CASTLEROCK CUSTOM BUILDERS LLC
PO BOX 8333
GREENVILLE, TX 75404

D&A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-049: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request Sam Hernandez for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.2342-acre parcel of land identified as Lot 48 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 304 E. Bourn Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-049: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

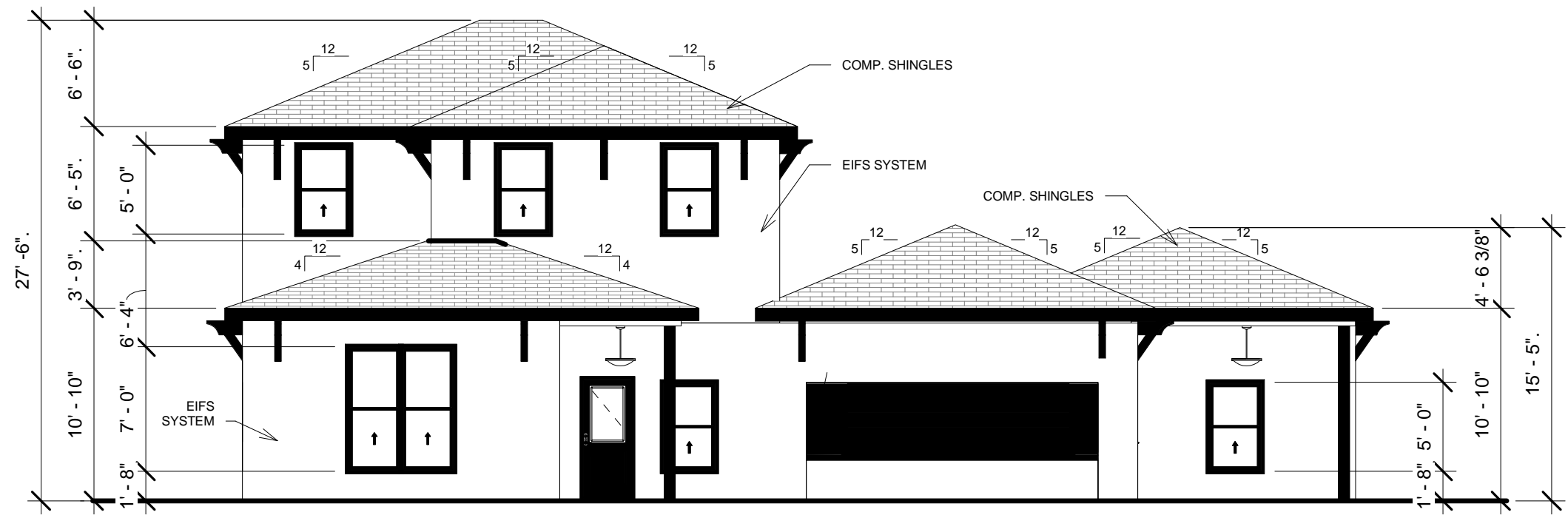
- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

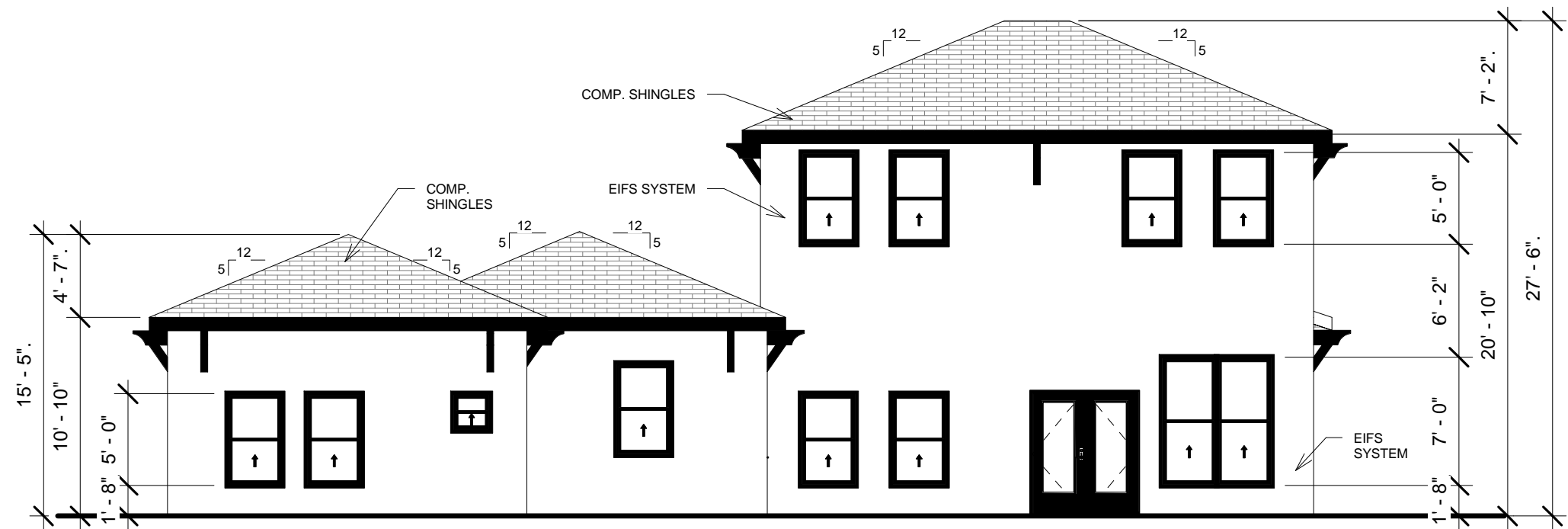
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

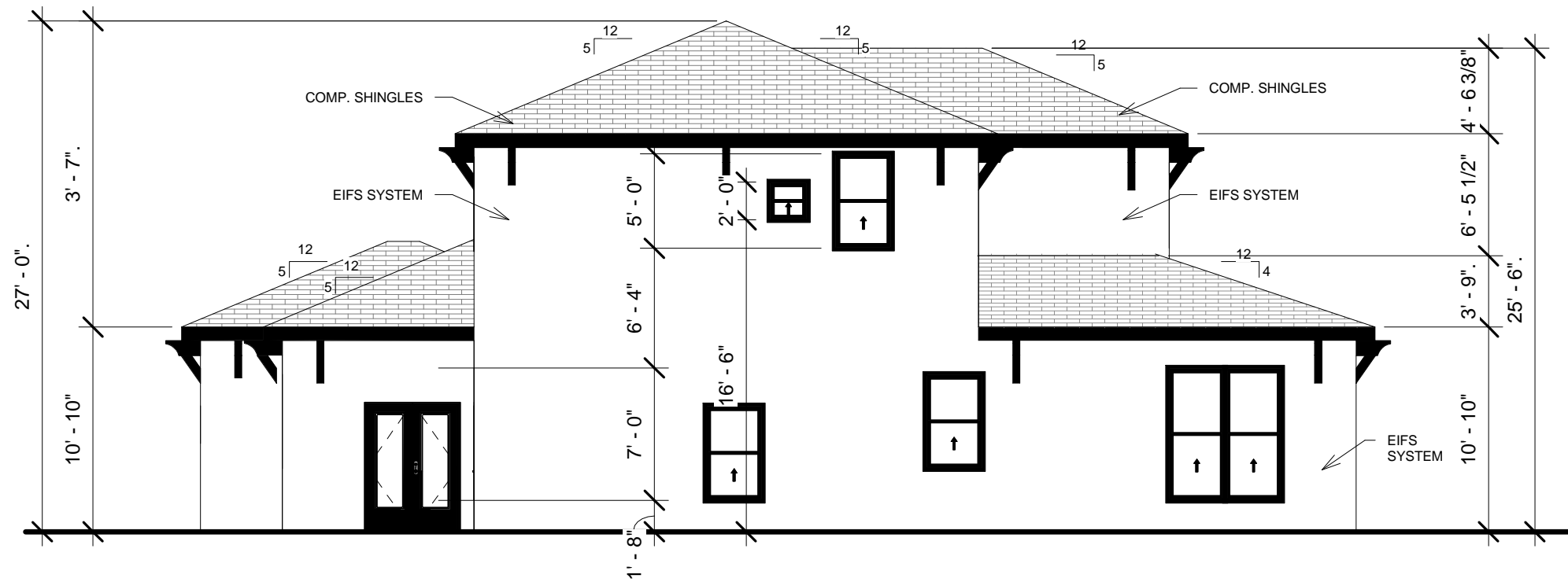
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



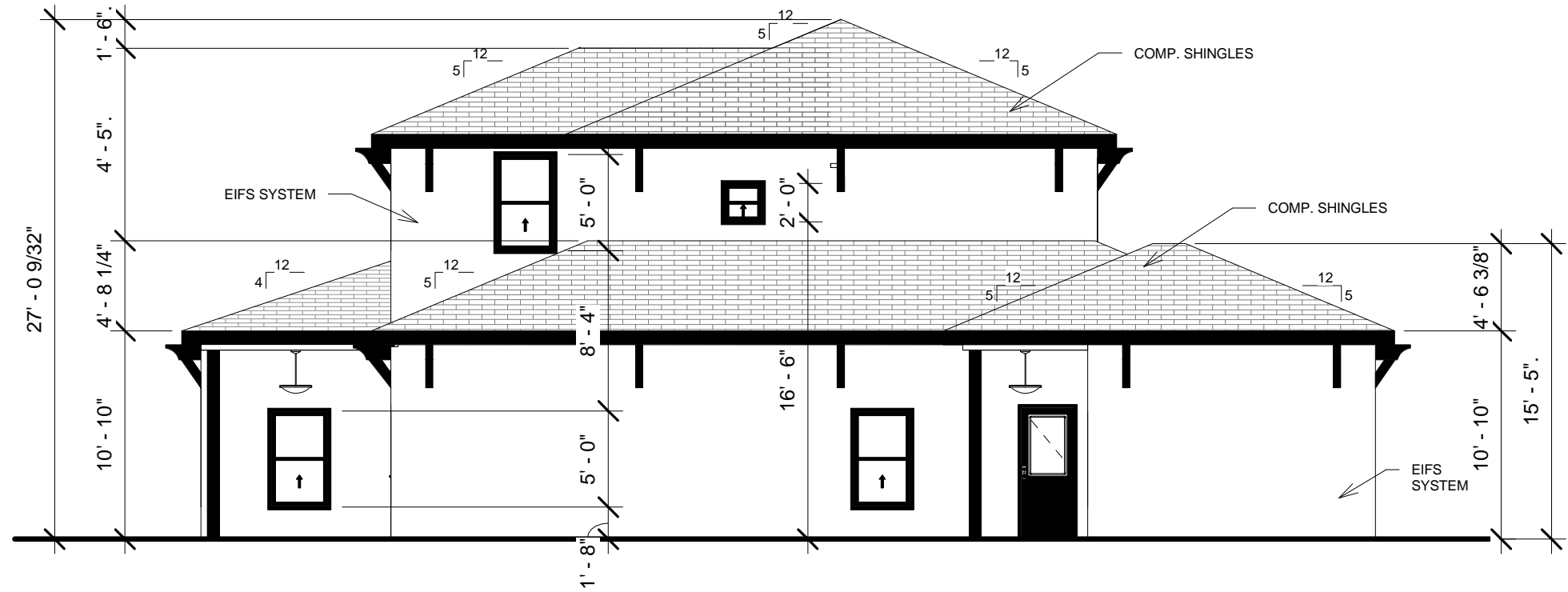
① FRONT
1/8" = 1'-0"



② BACK
1/8" = 1'-0"



① LEFT
1/8" = 1'-0"



② RIGHT
1/8" = 1'-0"

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
202 E Bourn Street	Single-Family Home	1987	1,508	100	Siding
203 E Bourn Street	Single-Family Home	1960	1,320	60	Brick/Wood Siding
204 E Bourn Street	Single-Family Home	1970	1,305	144	Brick
206 E Bourn Street	Single-Family Home	1996	1,300	N/A	Brick
207 E Bourn Street	Single-Family Home	1995	1,525	N/A	Brick
208 E Bourn Street	Single-Family Home	2003	1,680	160	Siding
301 E Bourn Street	House of Worship	-	3,578	N/A	Siding
304 E Bourn Street	RCAD Indicates Vacant		Subject Property		
306 E Bourn Street	Single-Family Home	1962	1,040	N/A	
308 E Bourn Street	Single-Family Home	1979	1,044	N/A	Siding
403 E Bourn Street	Multi-Family Home	2007	1,499	120	Siding
408 E Bourn Street	Single-Family Home	1998	1,130	180	Brick
501 E Bourn Street	Single-Family Home	1975	1,226	N/A	Siding
810 Davy Crockett	Single-Family Home	2003	1,732	284	Brick
811 Davy Crockett	Single-Family Home	1998	1,095	N/A	Brick
815 Davy Crockett	Single-Family Home	1998	1,150	N/A	Brick
902 Davy Crockett	Single-Family Home	1950	1,000	N/A	Siding
302 Emma Jane	Single-Family Home	2018	1,843	N/A	Brick
304 Emma Jane	Single-Family Home	2018	1,843	N/A	Brick
308 Emma Jane	Single-Family Home	2004	1,543	244	Brick
310 Emma Jane	Single-Family Home	1975	1,056	N/A	Siding
806 Sam Houston	Single-Family Home	2017	1,547	N/A	Brick
807 Sam Houston	Multi-Family Home	1969	1,200	N/A	Brick
808 Sam Houston	Single-Family Home	2015	1,154	N/A	Brick
905 Sam Houston	RCAD Indicates Vacant		-	-	Siding
906 Sam Houston	Single-Family Home	2004	1,974	N/A	Brick/Siding
907 Sam Houston	Single-Family Home	1997	928	240	Siding
Averages:		1992	1,449	170	



202 E Bourn Street



203 E Bourn Street



204 E Bourn Street



206 E Bourn Street



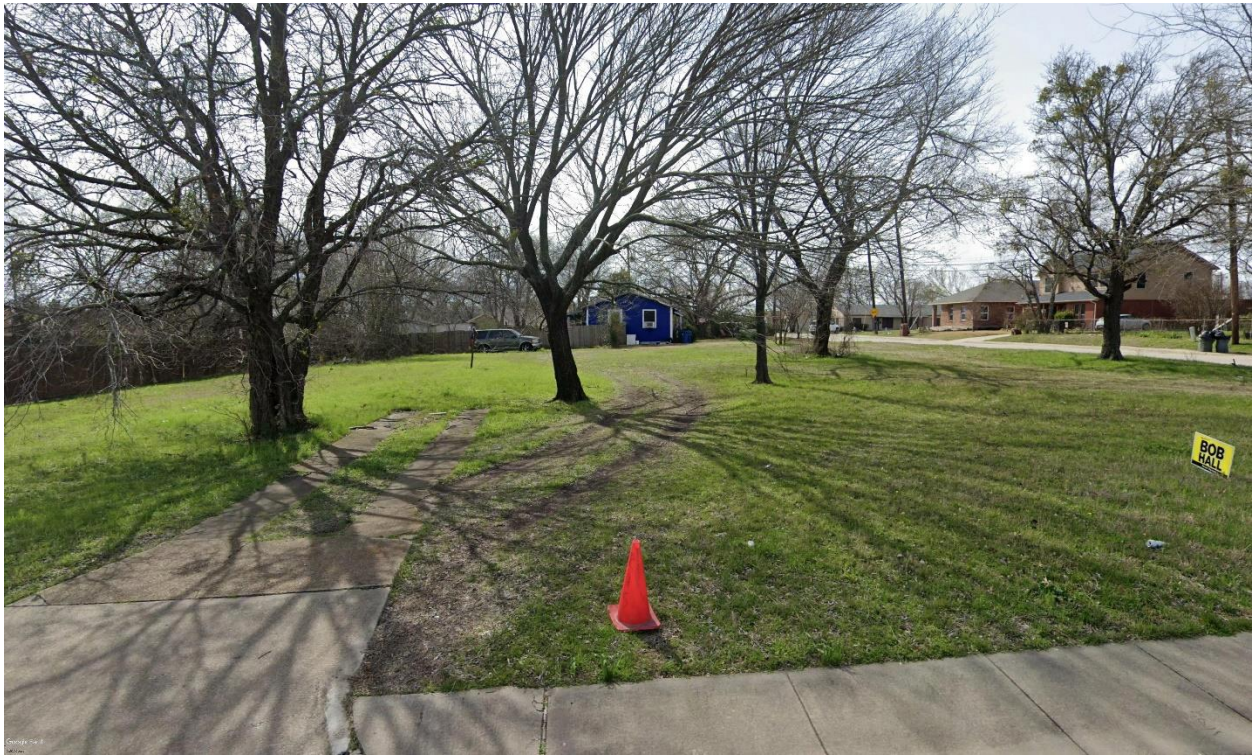
207 E Bourn Street



208 Bourn Street



301 E Bourn Street



304 E Bourn Street



306 E Bourn Street



308 E Bourn Street



403 E Bourn Street



408 E Bourn Street



501 E Bourn Street



810 Davy Crockett



811 Davy Crockett



815 Davy Crockett



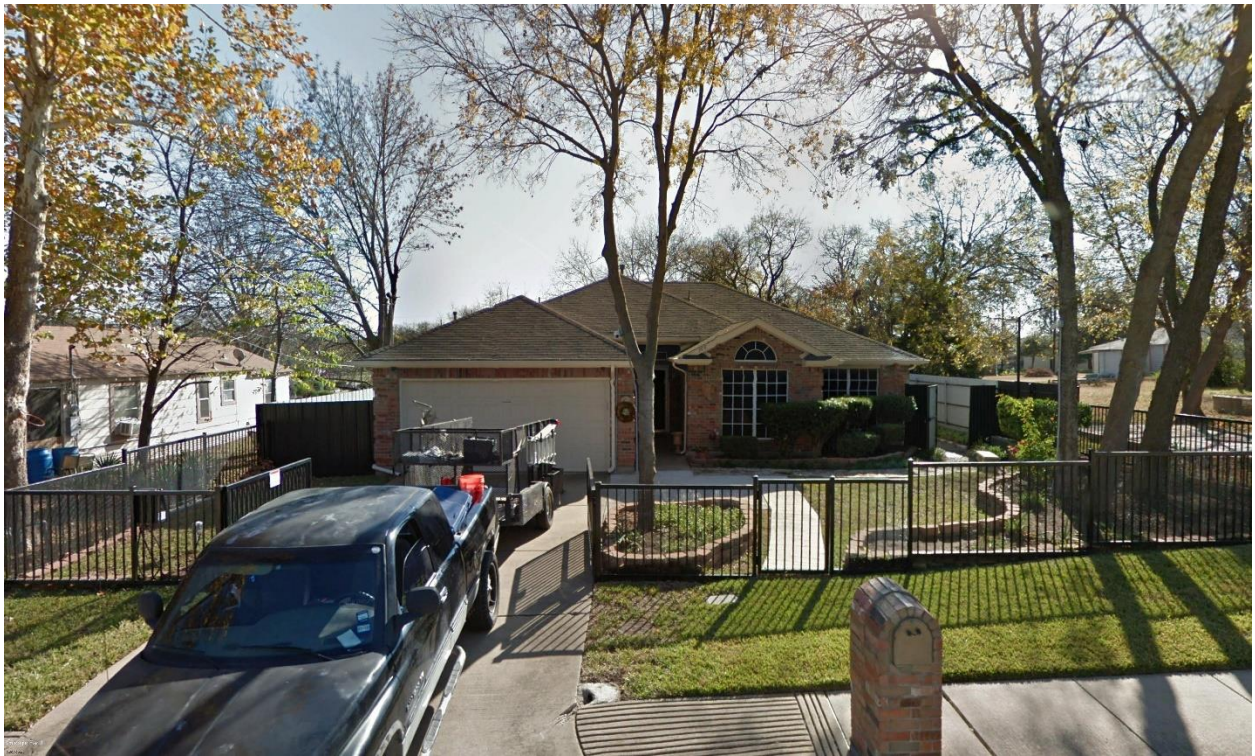
902 Davy Crockett



302 Emma Jane



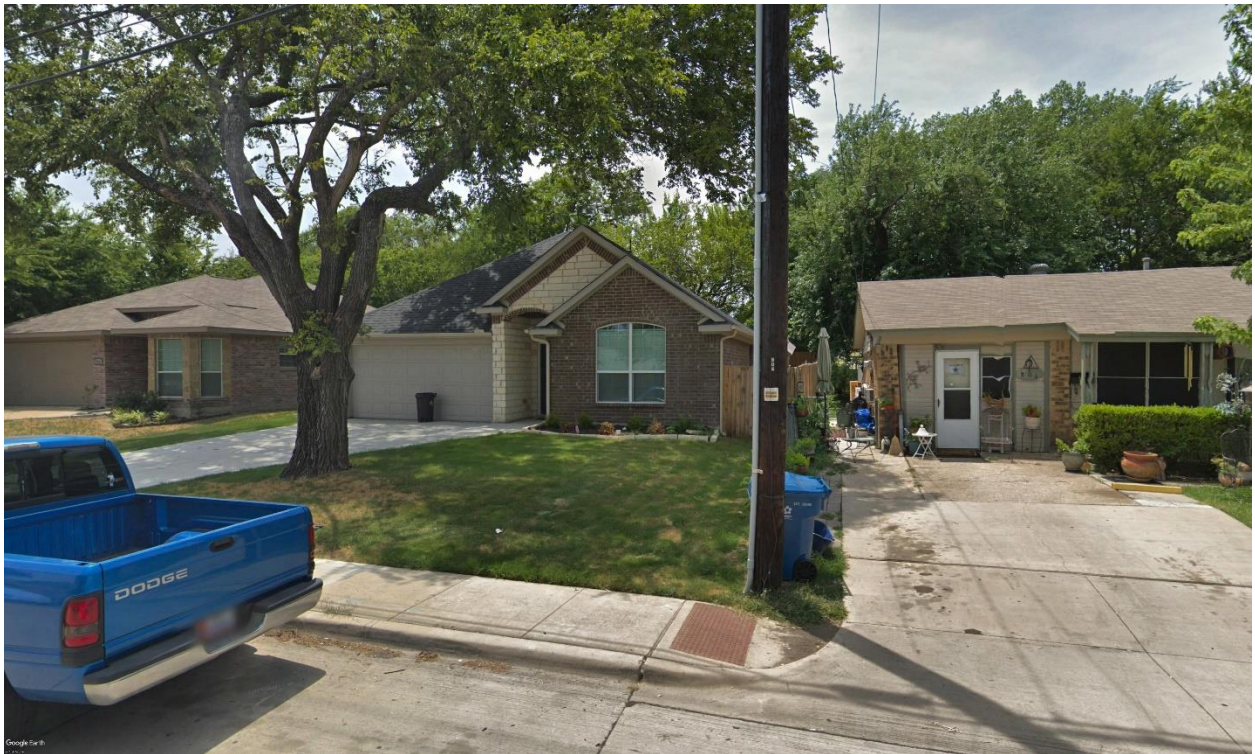
304 Emma Jane



308 Emma Jane



310 Emma Jane



806 Sam Houston



807 Sam Houston



808 Sam Houston



905 Sam Houston



906 Sam Houston



907 Sam Houston

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2342-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 48, CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Sam Hernandez for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.2342-acre parcel of land being described as Lot 48, Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential (SRO) Overlay, addressed as 304 E. Bourn Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and the Southside Overlay District of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] and to the requirements set forth in the Southside Overlay District - as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

Exhibit 'A'
Location Map and Survey

Address: 304 E. Bourn Street

Legal Description: Lot 48, Canup Addition



**Exhibit 'B':
Residential Plot Plan**

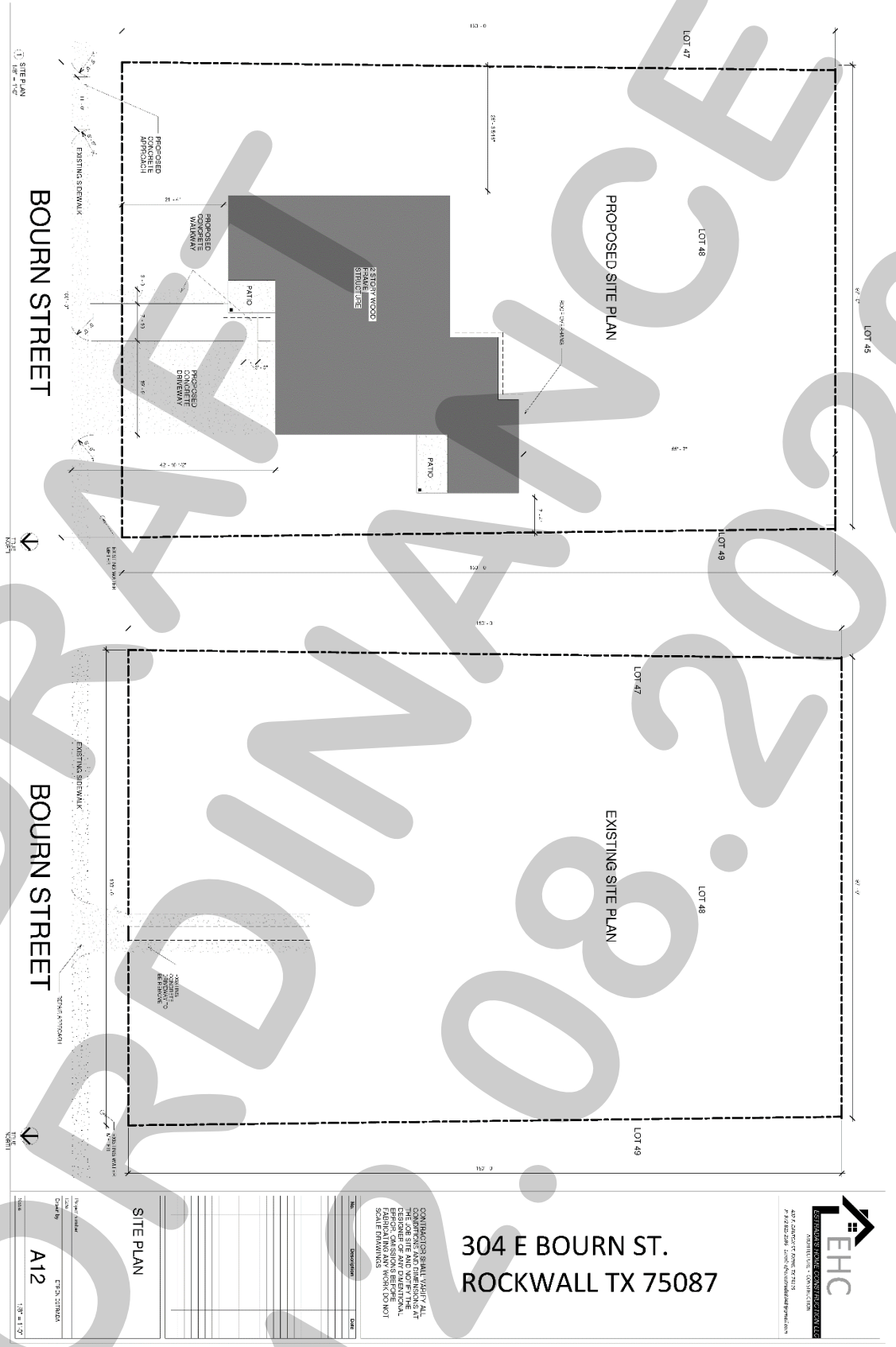
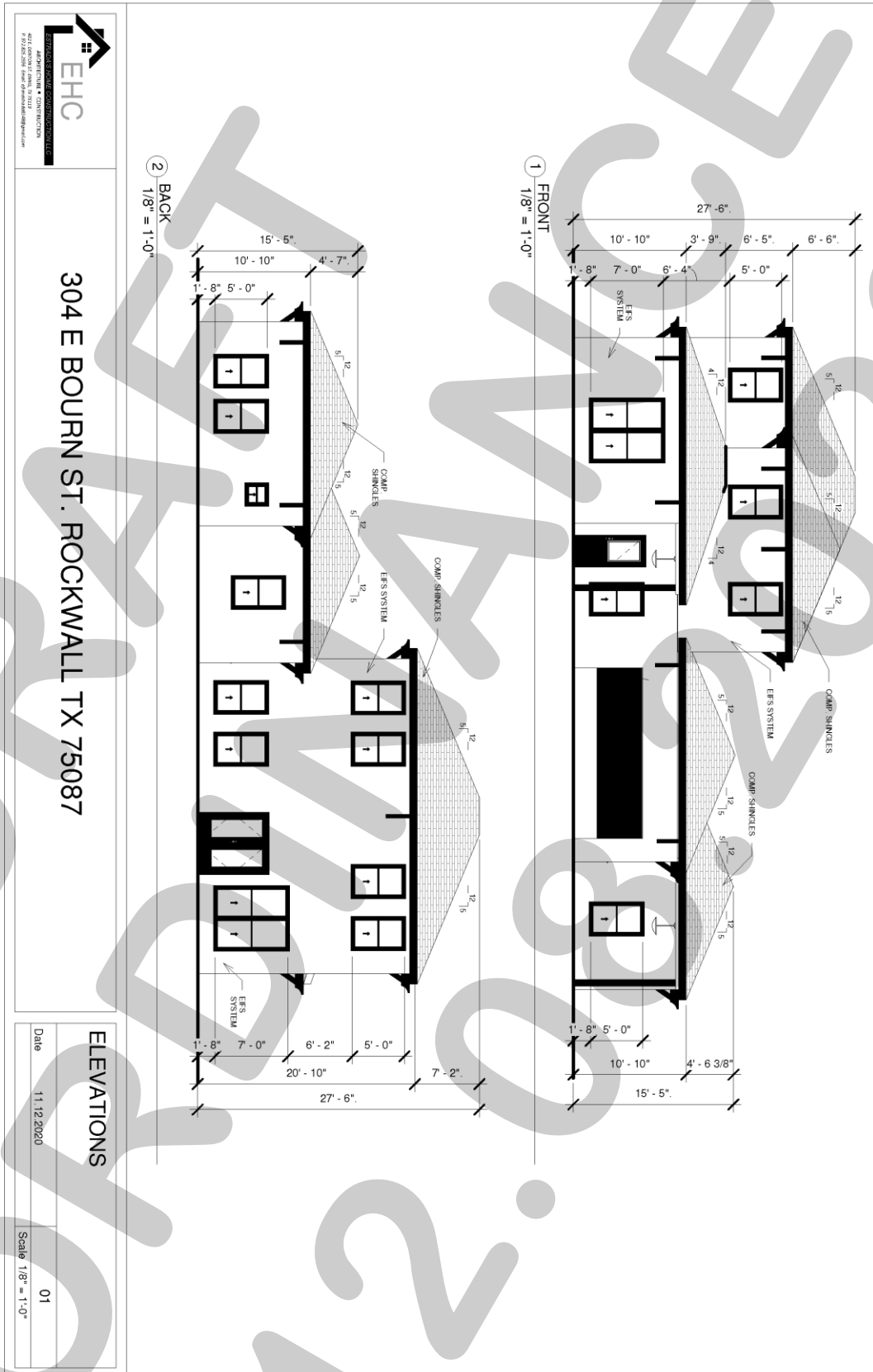
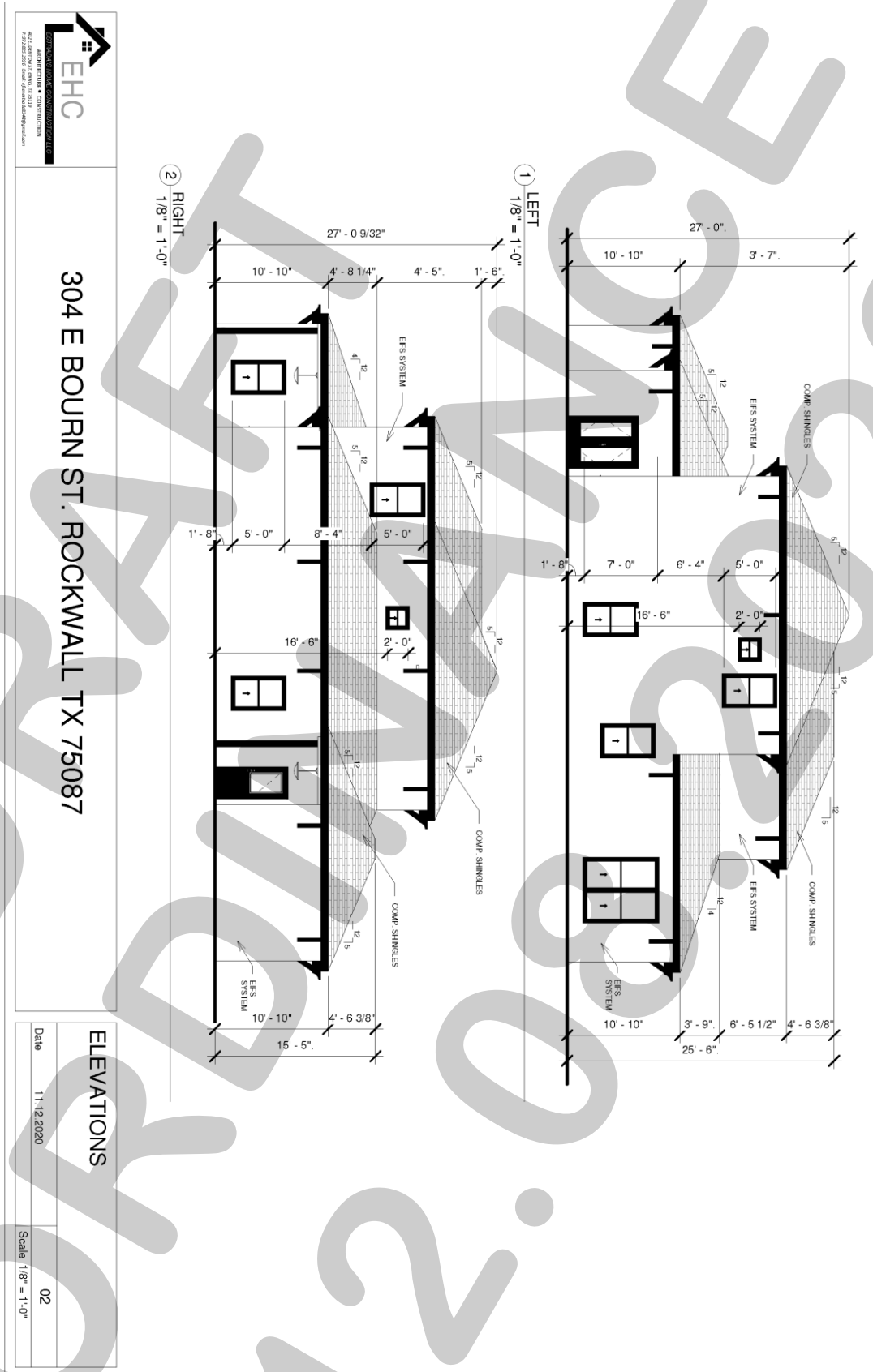


Exhibit 'C':
Building Elevations



**Exhibit 'C':
Building Elevations**





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: December 8, 2020

APPLICANT: Perry Bowen

CASE NUMBER: Z2020-050; *Specific Use Permit (SUP) for a Residential Infill for 501 S. Clark Street*

SUMMARY

Hold a public hearing to discuss and consider a request Perry Bowen on behalf of Kyle Bryan for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. At some point after August 25, 1934 the subject property was platted as Lot A, Block 107, B. F. Boydston Addition. According to the City's historic zoning maps, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. This designation changed between January 4, 1972 and May 15, 1983 to Single-Family 7 (SF-7) District based on the May 16, 1983 zoning map. At some point after the property was platted an approximately 1,850 SF home was constructed on the subject property. On November 18, 2020 the City Council approved a replat of the subject property establishing Lot 1, Block A, Haley & Kyle Addition [Case No. P2019-040].

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 501 S. Clark Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are four (4) parcels of land (*i.e. Lots 1 & 2, Block 1, Clark Street Homesite and Lots 1 & 2, Block 1, Shaw Addition*), two (2) of which are vacant. These properties are zoned Single-Family 7 (SF-7) District. Beyond this are five (5) single-family homes on five (5) parcels of land (*i.e. Lots 49A, 49B, 50, 51 105A-1 of the B. F. Boydston Addition*) zoned Single-Family 7 (SF-7) District. All of these properties are within the Old Town Rockwall Historic District. Beyond this is Hartman Street, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is one (1) vacant parcel of land (*i.e. Lot 2, Block A, Haley & Kyle Addition*) and one (1) parcel of land with a single-family home situated on it (*i.e. Lot 107 of the B. F. Boydston Addition*). The properties are both zoned Single-Family 7 (SF-7) District. Beyond this are eight (8) single-family homes (*i.e. Lots 1-7 & 6A of the Harris Addition*) zoned Two-Family (2F) District.

East: Directly east of the subject property is a 3.983-acre tract of land (*i.e. Tract 34-1 of the R. Ballard Survey, Abstract No. 29*) zoned Single-Family 7 (SF-7) District. Also, east of the subject property is a 1.792-acre vacant parcel of

land (i.e. Tract 44-01 of the R. Ballard Survey, Abstract No. 29) zoned Single-Family 7 (SF-7) District. Beyond this are two (2) tracts of land (i.e. Tracts 18 & 18-1 of the R. Ballard Survey, Abstract No. 29) and one (1) parcel of land (i.e. Lot 1, Block A, Blue Sky Subdivision) zoned Single-Family 7 (SF-7) District. East of this is Renfro Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is S. Clark Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are six (6) single-family homes on six (6) tracts of land composed of multiple lots within the Mill Co. Subdivision. These properties are zoned Single-Family 7 (SF-7) District. Beyond this is Sherman Street, which is classified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the B. F. Boydston Addition and within 500-feet of the Mill Co. and Richard Harris #2 Additions. All of these subdivisions are considered to be established subdivisions and have been in existence for more than ten (10) years, consists of more than five (5) lots, and are greater than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within 500-feet of an established subdivision, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on S. Clark Street and Storrs Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on S. Clark Street, Storrs Street, and the Subject Property	Proposed Housing
Building Height	One (1) Story	Two (2) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face S. Clark Street
Year Built	1945-2006	N/A
Building SF on Property	696 SF – 2,049 SF	4,394 SF (3,102 SF air-conditioned)
Building Architecture	Single Family Homes	Comparable Architecture to the Surrounding Single-Family Homes
Building Setbacks:		
Front	Estimated Between 20-Feet and 35-Feet	50-Feet
Side	Estimated between zero (0) and greater than ten (10) feet.	5.67-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	170-Feet
Building Materials	Brick and Siding	HardiBoard Siding
Paint and Color	Red, White, Grey, Green, Blue and Brown	White
Roofs	Composite and Asphalt Shingles	Composite Shingle & Metal (<i>Secondary Elements</i>)
Driveways/Garages	Driveways all front the same street the single-family home faces. Front-facing and no garages.	The garage will be attached and located an estimated 15-feet in front of the front façade of the single-family home.

According to Section 04, Residential Parking, of Article 06, Parking and Loading, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is proposing to put the garage approximately 15-feet in front the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that other single-family homes in the neighborhood have a garage flush or just behind the front façade of the single-family home, and that this garage orientation is not uncharacteristic of the neighborhood. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along S. Clark Street, Storrs Street, and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On November 18, 2020, staff mailed 87 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had received one (1) notice in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-050

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre) ¹
☐ Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
☐ Final Plat (\$300.00 + \$20.00 Acre) ¹
☐ Replat (\$300.00 + \$20.00 Acre) ¹
☐ Amending or Minor Plat (\$150.00)
☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre) ¹
☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre) ¹
☐ Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
☐ PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 501 S. Clark St. Rockwall, TX 75087

Subdivision Lot 1 Block A

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use

Proposed Zoning

Proposed Use

Acreage

Lots [Current]

Lots [Proposed]

- ☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner Kyle Bryan

☒ Applicant Perry Bowen

Contact Person Perry Bowen

Contact Person Perry Bower

Address 230 Myers Rd

Address 230 Myers Rd

City, State & Zip Heath, TX 75032

City, State & Zip Heath, TX 75032

Phone 972-771-0986

Phone 469-446-5339

E-Mail pbowenhomes@sbccglobal.net

E-Mail pbowenhomes@sbccglobal.net

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Kyle Bryan [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of November, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated with a request for public information."

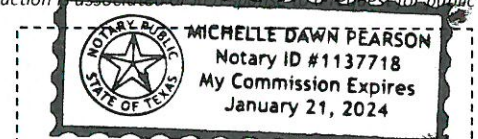
Given under my hand and seal of office on this the 13th day of November, 20 20.

Owner's Signature

Kyle Bryan

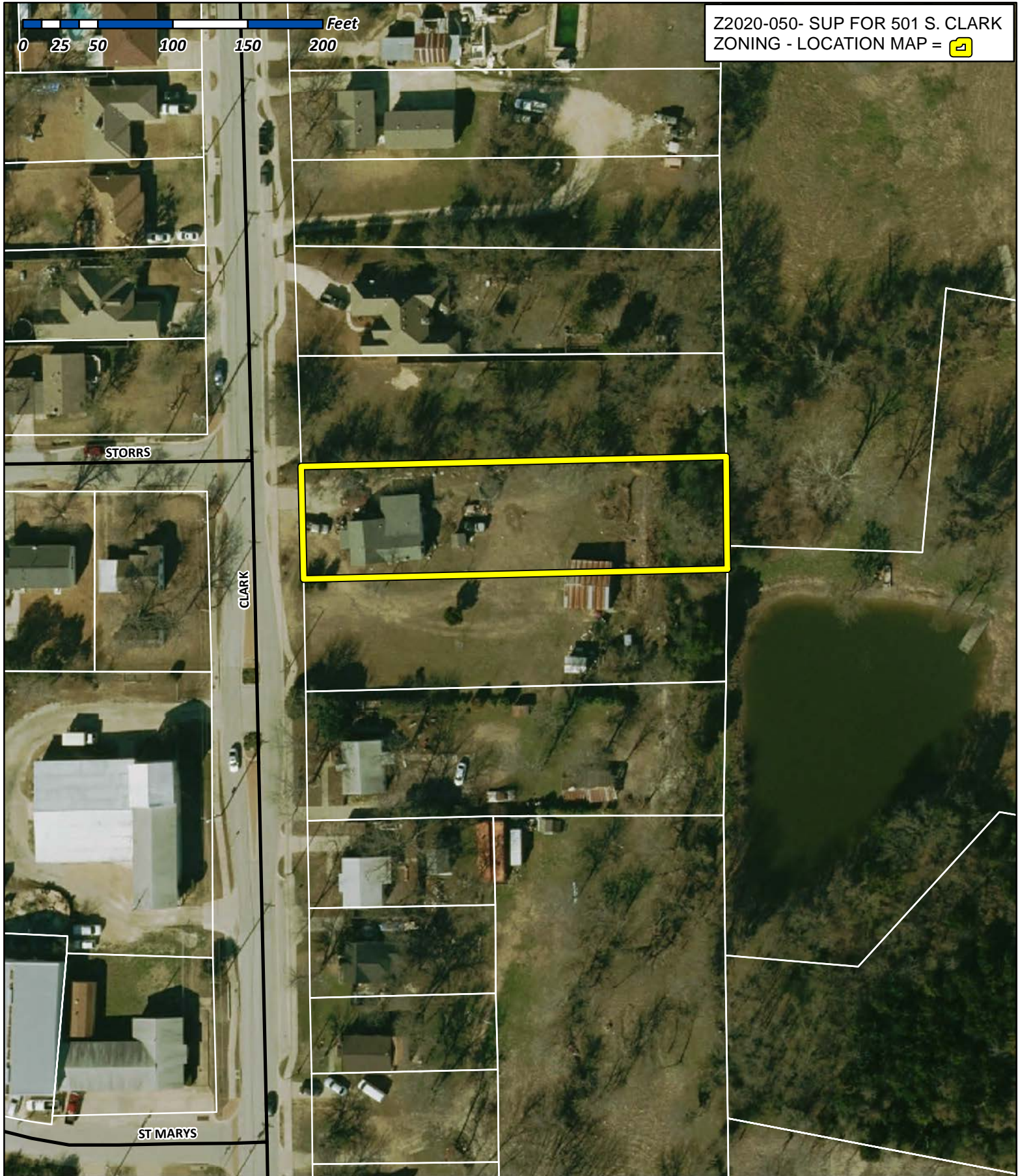
Notary Public in and for the State of Texas

Michelle Dawn Pearson



My Commission Expires

1/24/2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

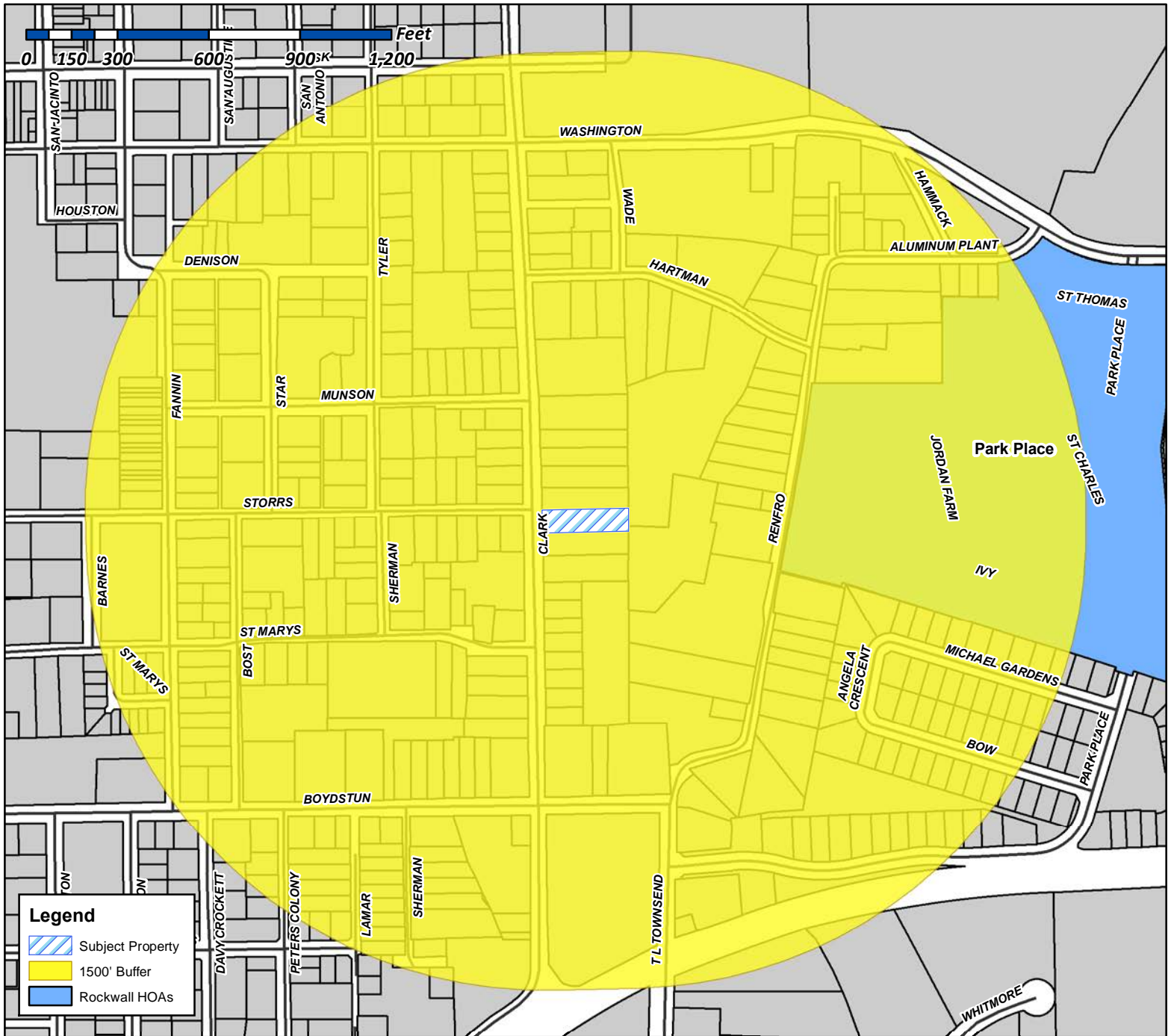




City of Rockwall

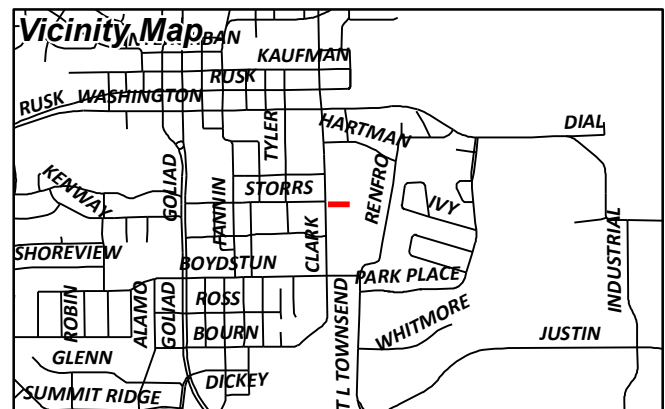
Planning & Zoning Department
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Rockwall, Texas 75087
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Case Number: Z2020-050
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 501 S. Clark Street

Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Wednesday, November 18, 2020 2:30 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: HOA Map (11.12.2020).pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on *Friday, November 20, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, December 8, 2020 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, December 21, 2020 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-050 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request Perry Bowen on behalf of Kyle Bryan for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

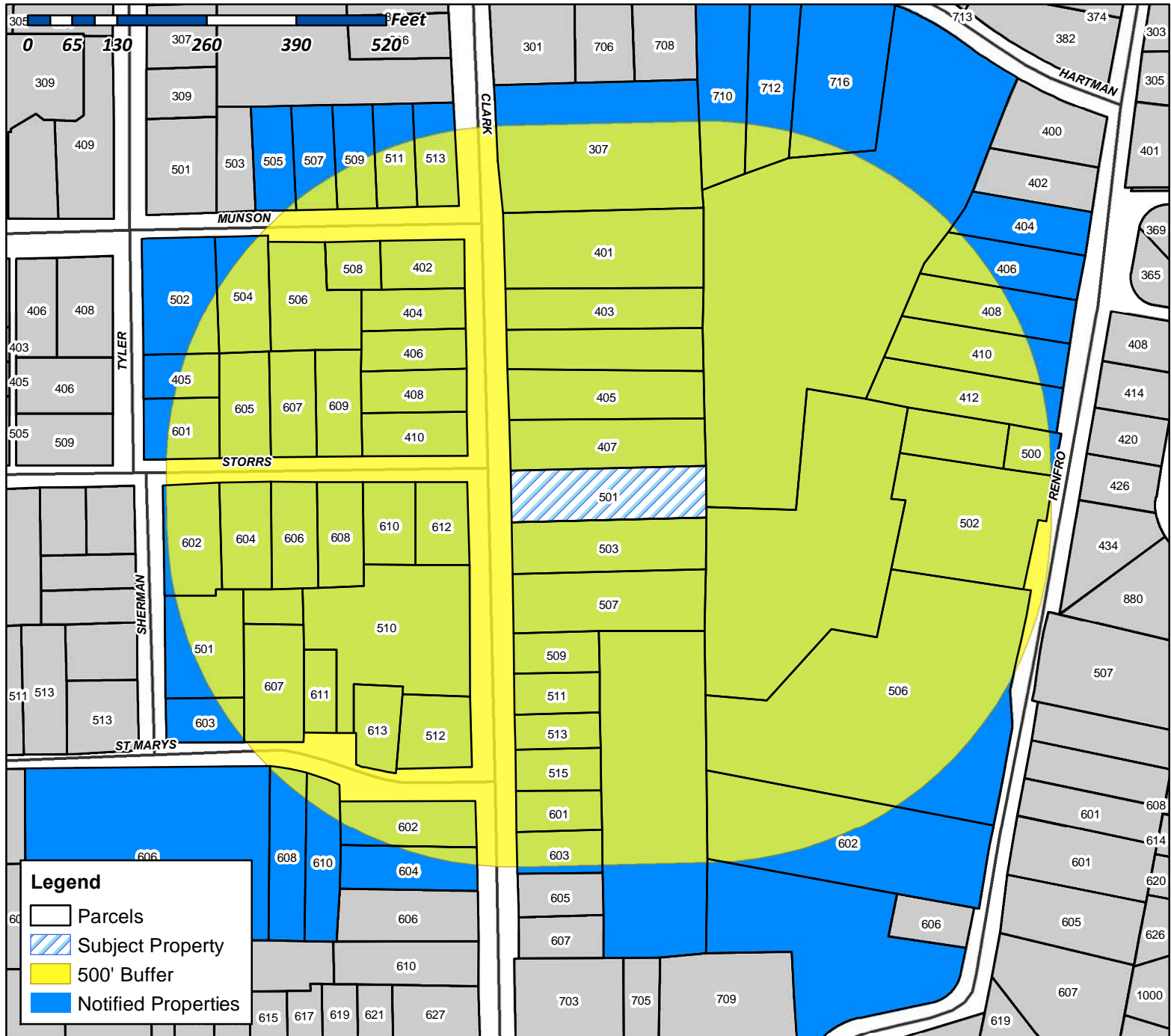
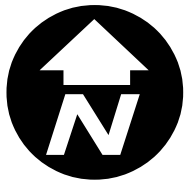
<http://www.rockwall.com/planning/>

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City of Rockwall

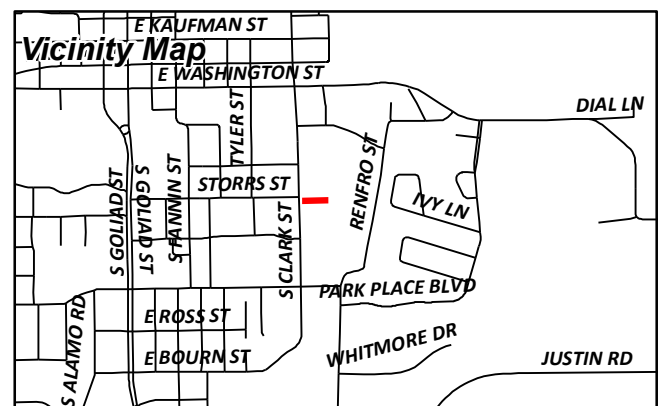
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Case Number: Z2020-050
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 501 S. Clark Street

Date Created: 11/12/2020
For Questions on this Case Call (972) 771-7745



MCCALLUM DARRELL
1 SOAPBERRY LN
ROCKWALL, TX 75087

ANGEL NADA
11014 ITASCA DR
DALLAS, TX 75228

BOREN TERRY L ETUX
113 S BERNICE DR
GARLAND, TX 75042

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

GADDIS DANNY E
12922 EPPS FIELD RD
FARMERS BRANCH, TX 75234

TUTTLE LEON ETUX
1408 DHAKA DR
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
143 STONELEIGH DRIVE
HEATH, TX 75132

LOWREY DAVID D
2070 PONTCHARTRAIN
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
215 GRIFFIN AVENUE
FATE, TX 75189

MUNSON PARTNERS 1 LLC
2241 AUBURN AVE
DALLAS, TX 75214

BOWEN CHASE AND
PERRY BOWEN
230 MYERS ROAD
HEATH, TX 75132

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

SPROUL DAVID D JR AND TRISH IRELAND
307 S CLARK ST
ROCKWALL, TX 75087

HAMANN KRISTIE M
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

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315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
3299 ROCHELLE RD
ROCKWALL, TX 75032

BRYAN KYLE & HALEY BROOKE
401 E KAUFMAN ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J & JANIS A
401 S CLARK ST
ROCKWALL, TX 75087

PANTOJA ANGEL & DENESYN FIGUEROA
402 S CLARK STREET
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
403 SCLARK ST
ROCKWALL, TX 75087

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RICHARD AND JUDY HARRIS- TRUSTEES
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TUTTLE LEON ETUX
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ROCKWALL, TX 75087

LIVINGSTON JUSTIN R & BROOKE D
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ROCKWALL, TX 75087

TOVAR LUIS & MARICELA
405 TYLER ST
ROCKWALL, TX 75087

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RICHARD AND JUDY HARRIS- TRUSTEES
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ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
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ROCKWALL, TX 75087

BOWEN CHASE AND
PERRY BOWEN
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408 RENFROST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

GADDIS CAMILLE D
408 SOUTH CLARK STREET
ROCKWALL, TX 75087

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RICHARD AND JUDY HARRIS- TRUSTEES
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SIMS CHRIS AND TERESA
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ROCKWALL, TX 75087

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RICHARD AND JUDY HARRIS- TRUSTEES
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ROCKWALL, TX 75087

STARK ROBERT CLAYTON
501 SHERMANST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
501SCLARK
ROCKWALL, TX 75087

HOLLAND TRENTON A AND
ROD HOLLAND
502 MUNSON STREET
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
503 S CLARK
ROCKWALL, TX 75087

EARNHEART JOHN L
504 MUNSON ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
505 MUNSONST
ROCKWALL, TX 75087

EARNHEART JOHN L
506 MUNSON ST
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
506 RENFRO ST
ROCKWALL, TX 75087

WYCKOFF MICHELE M
507 MUNSON ST
ROCKWALL, TX 75087

LECOUR DAVID & RENEE
507 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
508 MUNSON ST
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
509 MUNSON ST
ROCKWALL, TX 75087

HAMANN KRISTIE M
509 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
510 S CLARK
ROCKWALL, TX 75087

FLORES JAMES AND
PATRICIA ORR FLORES
511 MUNSON ST
ROCKWALL, TX 75087

HAMANN KRISTIE M
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ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
512 S CLARK
ROCKWALL, TX 75087

BOREN TERRY L ETUX
513 MUNSON ST
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JIMENEZ ANTONIO P CRUZ AND
NORMA L CRUZ HERNANDEZ
513 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
515 S CLARK ST
ROCKWALL, TX 75087

TOVAR LUIS & MARICELA
601 STORRS ST
ROCKWALL, TX 75087

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601 S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

JAMGOCHIAN MICHAEL W
602 STORRS STREET
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RIVERA SARA ELIA
603 S CLARK ST
ROCKWALL, TX 75087

JONES PEGGY
604 STORRS ST
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
604 S CLARK ST
ROCKWALL, TX 75087

DAVIS JIMMY JACK
605 STORRS ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D
606 STORRS STREET
ROCKWALL, TX 75087

STARK ROBERT SCOTT
607 SAINT MARY ST
ROCKWALL, TX 75087

HALDEMAN MICHAEL
607 STORRS ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
608 ST MARYSST
ROCKWALL, TX 75087

LOWREY DAVID D
608 STORRS ST
ROCKWALL, TX 75087

GADDIS DANNY E
609 STORRS ST
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

JOHNSTON SHERRI A
610 STORRS ST
ROCKWALL, TX 75087

H & M TOOL AND DIE CO
611 SAINT MARY ST
ROCKWALL, TX 75087

ANGEL NADA
612 STORRS ST
ROCKWALL, TX 75087

MCCALLUM DARRELL
613 ST MARYS PL
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
710 AGAPE ST
ROCKWALL, TX 75087

RENDON MARCELINO J JR
710 HARTMAN ST
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN
712 HARTMAN ST
ROCKWALL, TX 75087

HOOVER LINDA WEST-
716 HARTMAN STREET
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
880 IVY LANE
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

FLORES JAMES AND
PATRICIA ORR FLORES
PO BOX 237
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
PO BOX 2437
ROCKWALL, TX 75087

AUBE JEAN-PAUL III
PO BOX 868
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-050: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request Perry Bowen on behalf of Kyle Bryan for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-050: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. Z2020-050: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☒ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.

Not opposed to a new house going in at this location.

Name:

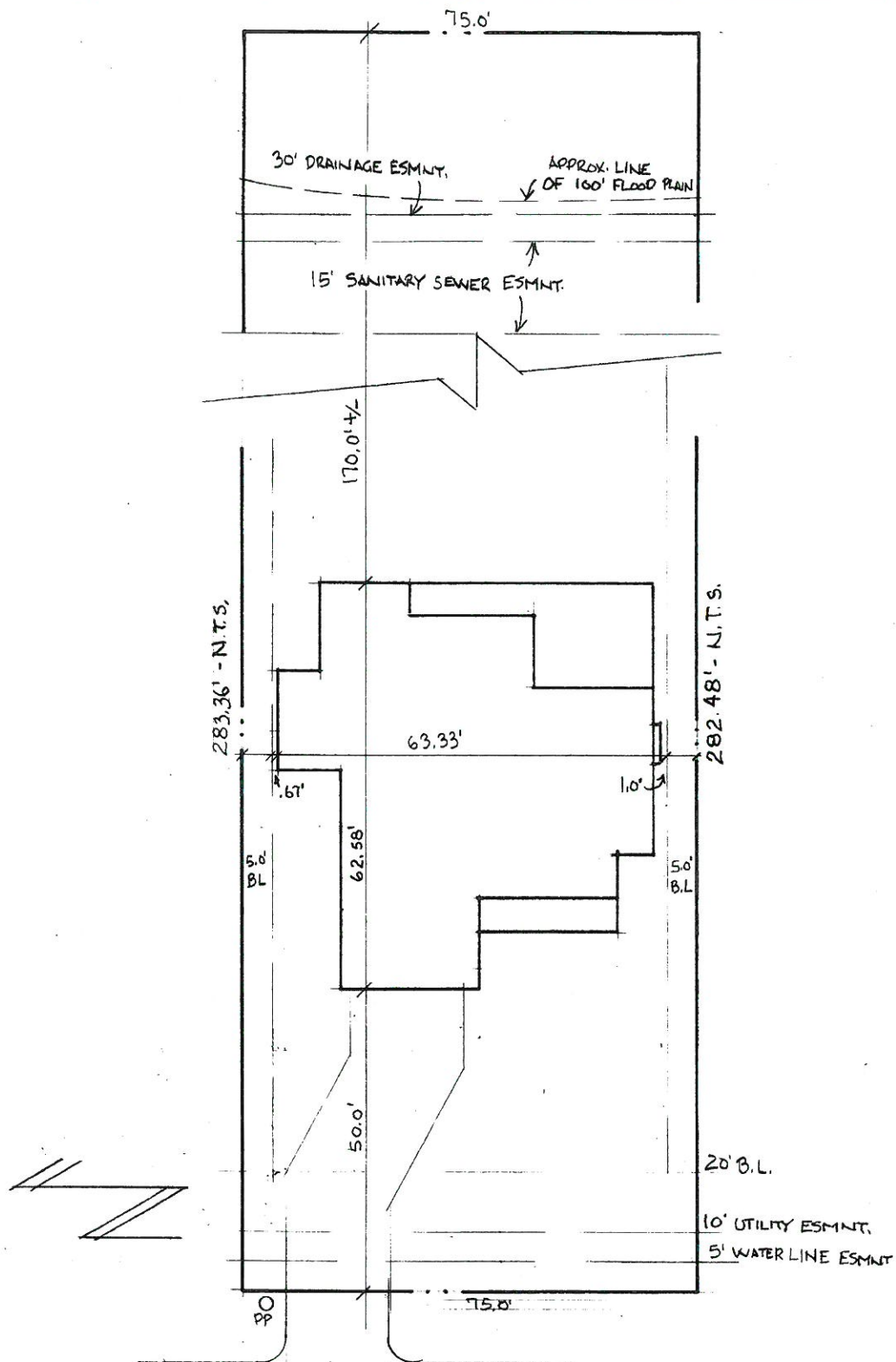
Sherri Johnston

Address:

610 Starrs Street, Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



08-2020

SCALE 1"=20.0'

The BRYAN Residence

HALEY + KYLE Addition

LOT: 1 BLK A

501 S. CLARK ST.

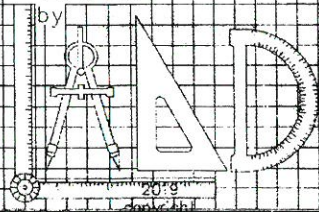
ROCKWALL, TX

MICHAEL V. LAND

RICHARDSON TX. 75080
PHONE: 972.250.2005

EMAIL: plansbyland@att.net

PLANS



[illegible]

FRONT ELEVATION

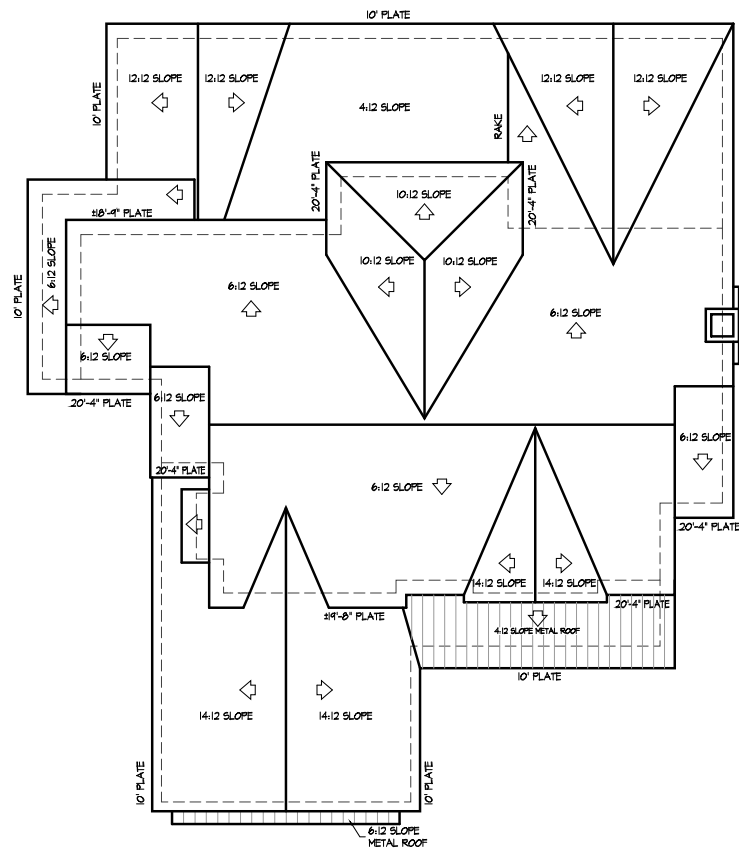
THE BYRAN RESIDENCE
501 S. Clark St.
Rockwall, TX.

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION/DESIGN INFORMATION. NECESSARY TO COMPLETE THIS STRUCTURE. FIELD VERIFY THE ACCURACY OF THESE PLANS PRIOR TO CONSTRUCTION. DO NOT SCALE THESE DRAWINGS. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED IN THE FIELD. LOCAL CODES, ORDINANCES, AND RESTRICTIONS APPLY. LIMIT OF DESIGNERS LIABILITY NOT TO EXCEED PRICE PAID FOR THE PLANS.

PLAN NO.
3102

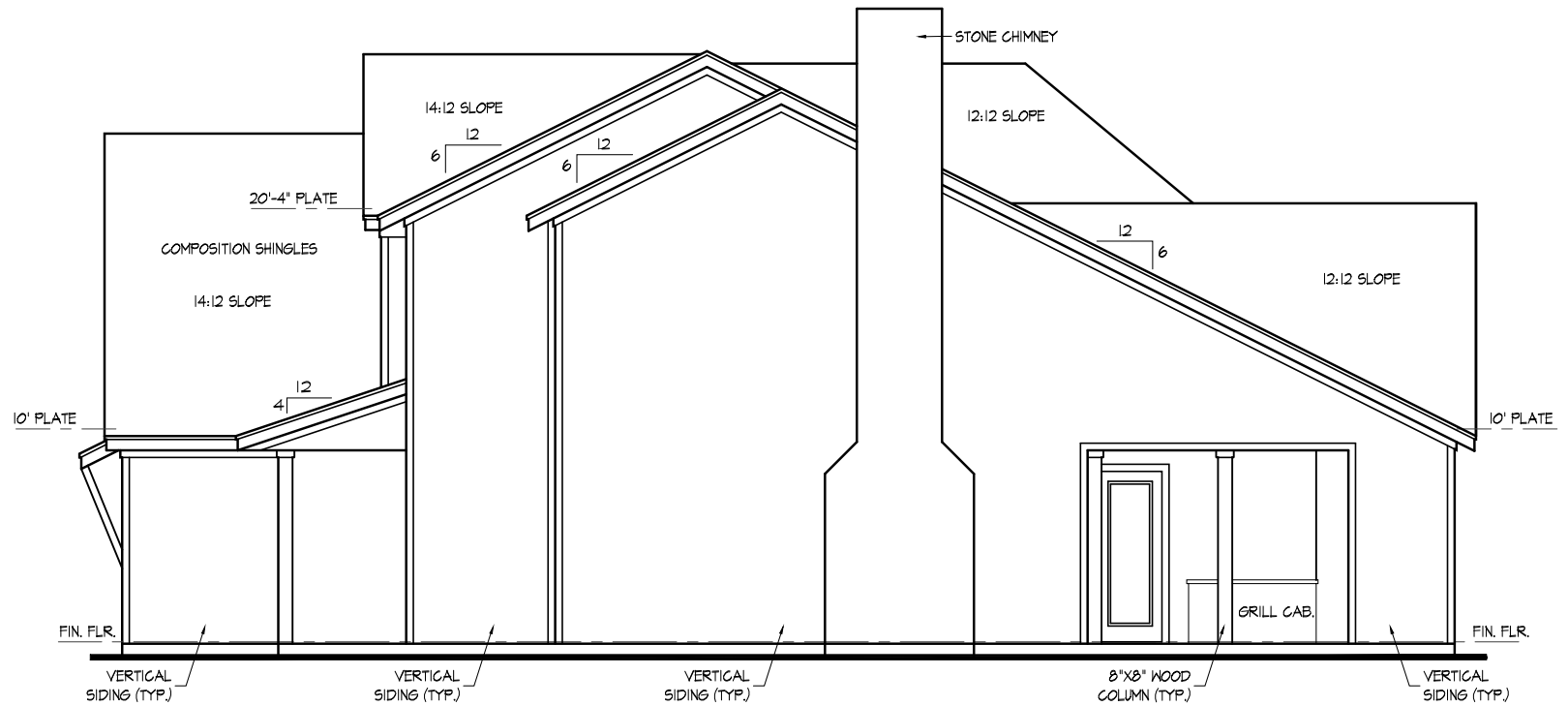
DATE
7-20-20

8-12-20



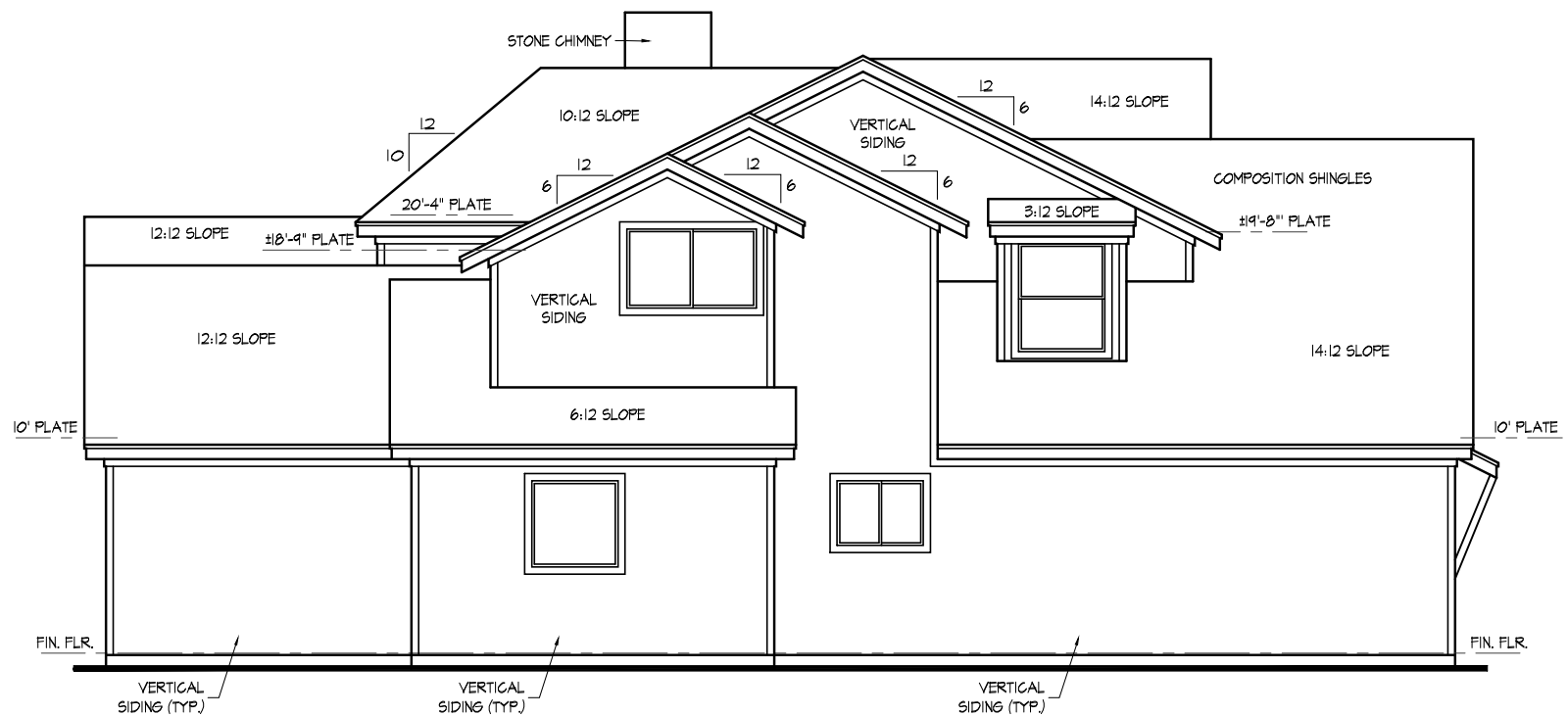
ROOF PLAN

SCALE: 1/8" = 1'-0"



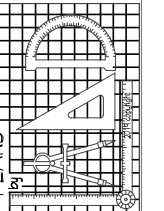
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



MICHAEL V. LAND
PLANS
BY
EMAIL: plans@mvland.com
N. COLLINS BLVD
ROCKWALL, TX 75080
PHONE: 972.360.2000
FAX: 972.360.2005

THE BRYAN RESIDENCE
501 S. Clark St.
Rockwall, TX.

THESE PLANS ARE INTENDED TO PROVIDE BASIC INFORMATION ONLY. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THESE PLANS PRIOR TO CONSTRUCTION. DO NOT SCALE THESE DRAWINGS. BUILDER RESERVES THE RIGHT TO MODIFY THESE PLANS AS REQUIRED IN THE FIELD. LOCAL CODES, ORDINANCES, AND EXCESS PRICE PAID FOR THE PLANS.

PLAN NO.
3102

DATE
7-20-20

REVISION DATES
8-12-20

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
402 S Clark Street	Single-Family Home	1987	1,090	216	Brick
403 S Clark Street	Single-Family Home	1966	720	N/A	Siding
404 S Clark Street	Single-Family Home	1983	1,097	N/A	Brick
405 S Clark Street	Single-Family Home	2006	1,682	N/A	Brick
406 S Clark Street	Single-Family Home	1990	1,348	144	Brick
408 S Clark Street	Single-Family Home	2006	2,049	N/A	Brick
410 S Clark Street	Single-Family Home	1989	1,112	N/A	Siding
501 S Clark Street	Single-Family Home	Subject Property			
503 S Clark Street	Other	1975	N/A	600	Metal
507 S Clark Street	Single-Family Home	1975	884	670	Brick
509 S Clark Street	Single-Family Home	1945	768	240	Siding
510 S Clark Street	Other	1970	N/A		Metal
511 S Clark Street	Single-Family Home	1940	951	N/A	Siding
512 S Clark Street	Other	1960	N/A		Siding
513 S Clark Street	Single-Family Home	1966	744	N/A	Siding
601 S Clark Street	Single-Family Home	1945	789	N/A	Siding
604 Storrs Street	Single-Family Home	1990	1,262	48	Siding
605 Storrs Street	Single-Family Home	1980	1,554	370	Siding
606 Storrs Street	Single-Family Home	1990	929	N/A	Siding
607 Storrs Street	Single-Family Home	1993	1,170	N/A	Siding
608 Storrs Street	Single-Family Home	1950	735	196	Siding
609 Storrs Street	Single-Family Home	1990	1,168	N/A	Siding
610 Storrs Street	Single-Family Home	1985	1,130	100	Siding
612 Storrs Street	Single-Family Home	1960	696	320	Siding
Averages:		1976	1,094		



402 S Clark Street



403 S Clark Street



404 S Clark Street



405 S Clark Street



406 S Clark Street



408 S Clark Street



410 S Clark Street



501 S Clark Street



503 S Clark Street



507 S Clark Street



509 S Clark Street



510 S Clark Street



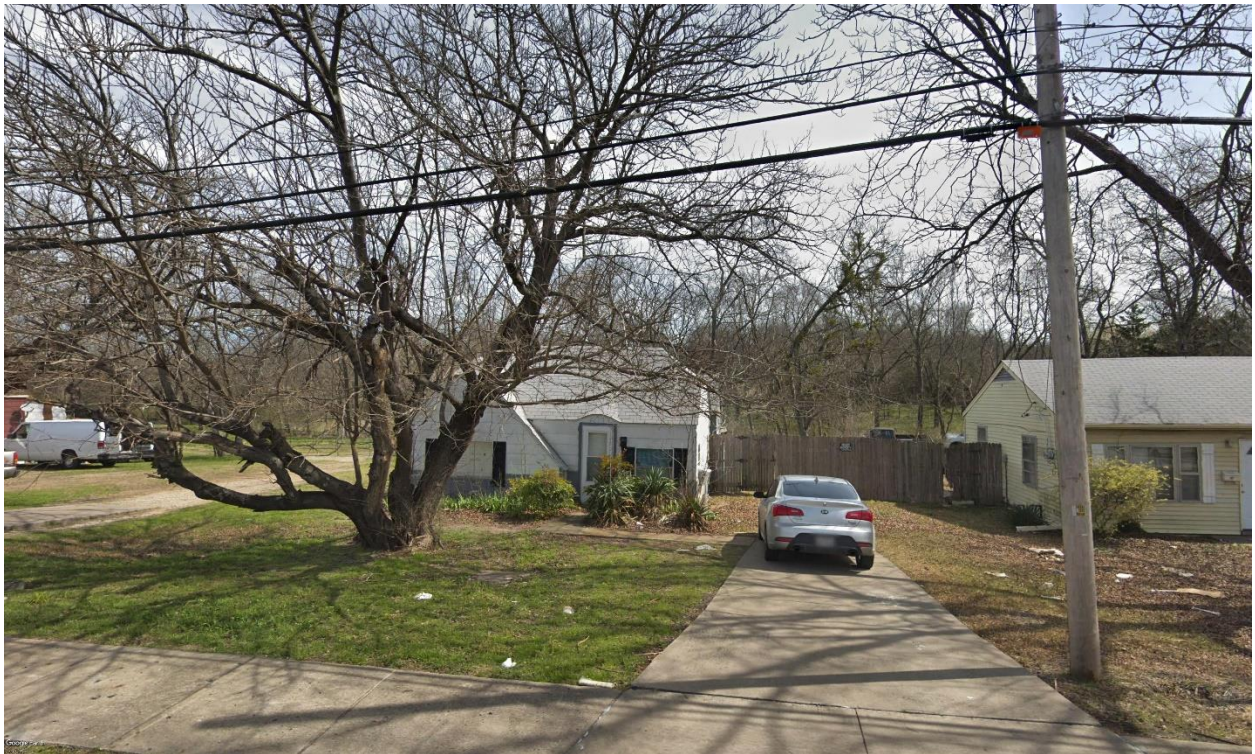
511 S Clark Street



512 S Clark Street



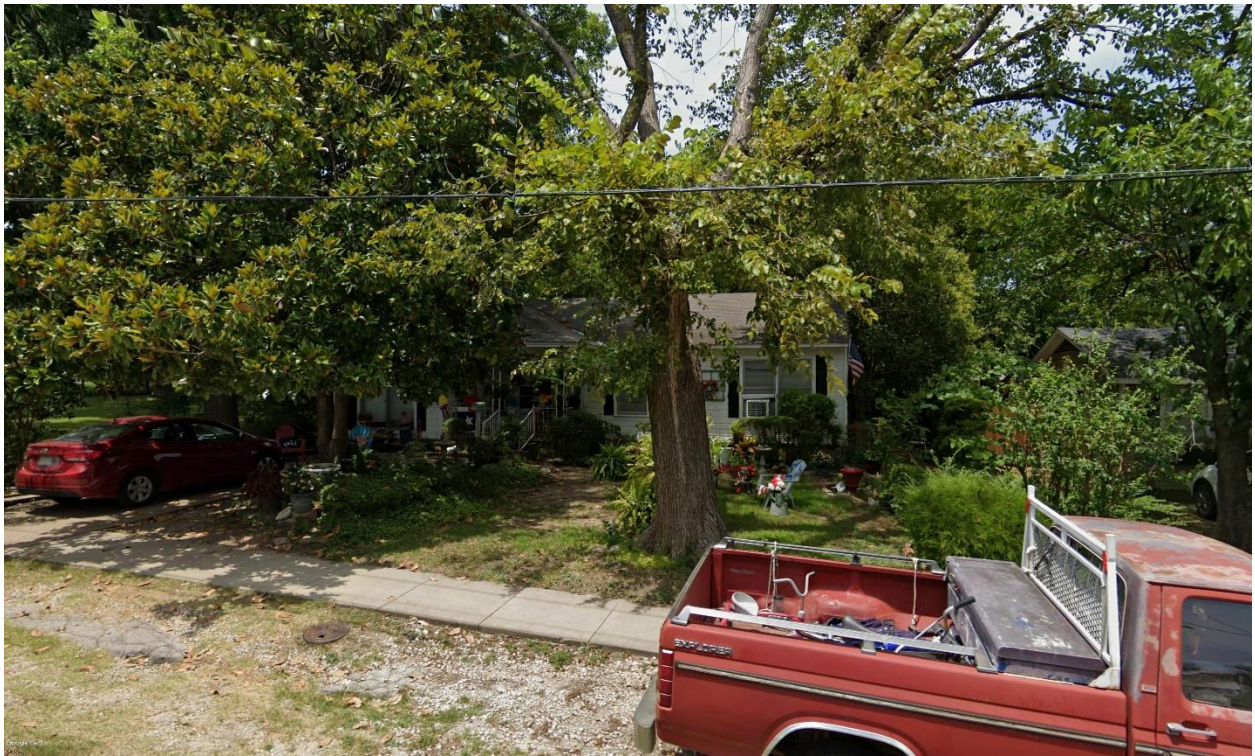
513 S Clark Street



601 S Clark Street



604 Storrs Street



605 Storrs Street



606 Storrs Street



607 Storrs Street



608 Storrs Street



609 Storrs Street



610 Storrs Street



612 Storrs Street

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.9655-ACRE PARCEL OF LAND, IDENTIFIED AS LOT A, BLOCK 107, B.F. BOYDSTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Perry Bower for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.9655-acre parcel of land being described as Lot A, Block 107, B.F. Boydston, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and

with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

Exhibit 'A'
Location Map and Survey

Address: 501 S. Clark Street

Legal Description: Lot A, Block 107, B.F. Boydston Addition



Exhibit 'B':
Residential Plot Plan

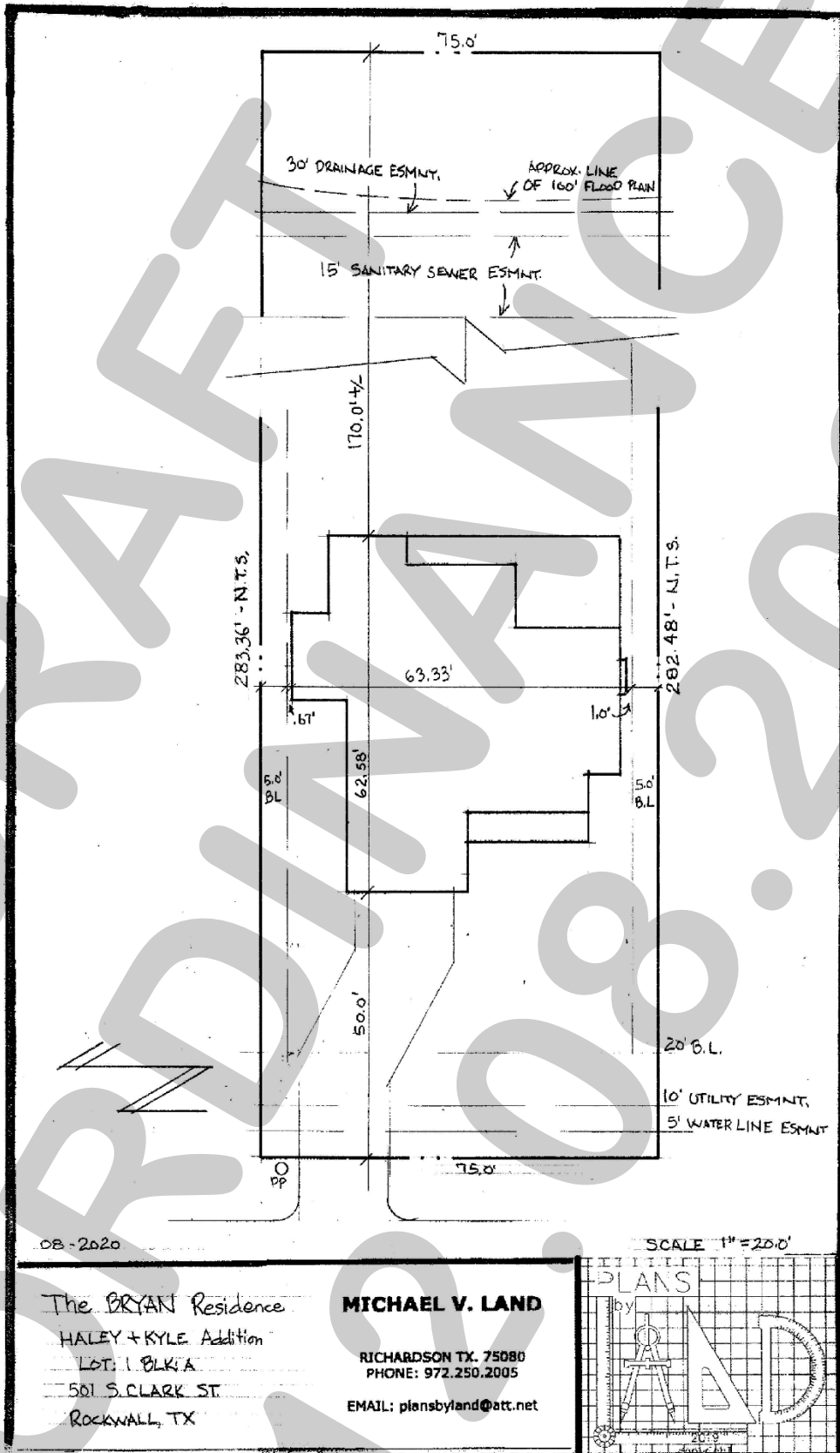


Exhibit 'C':
Building Elevations

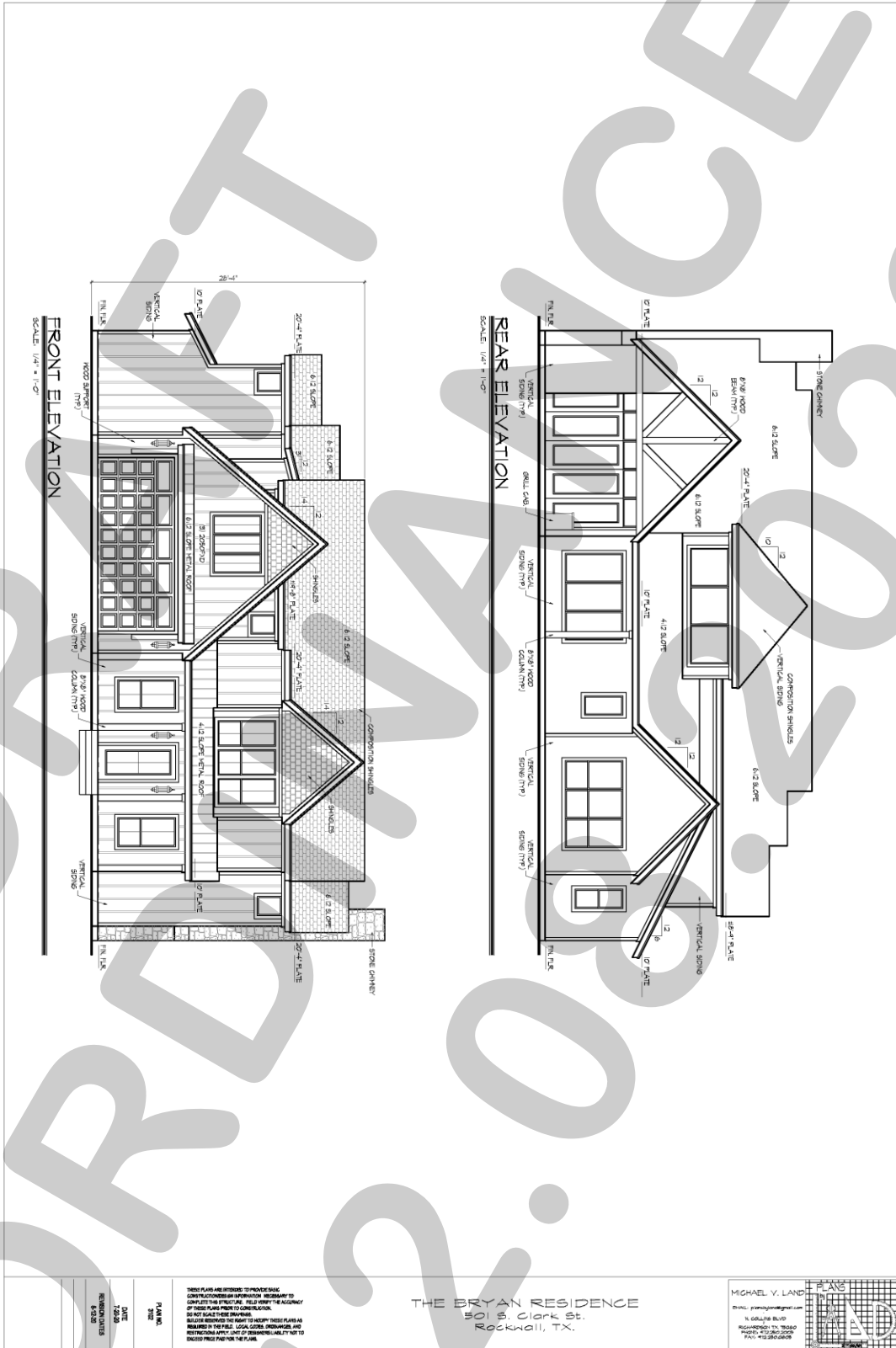
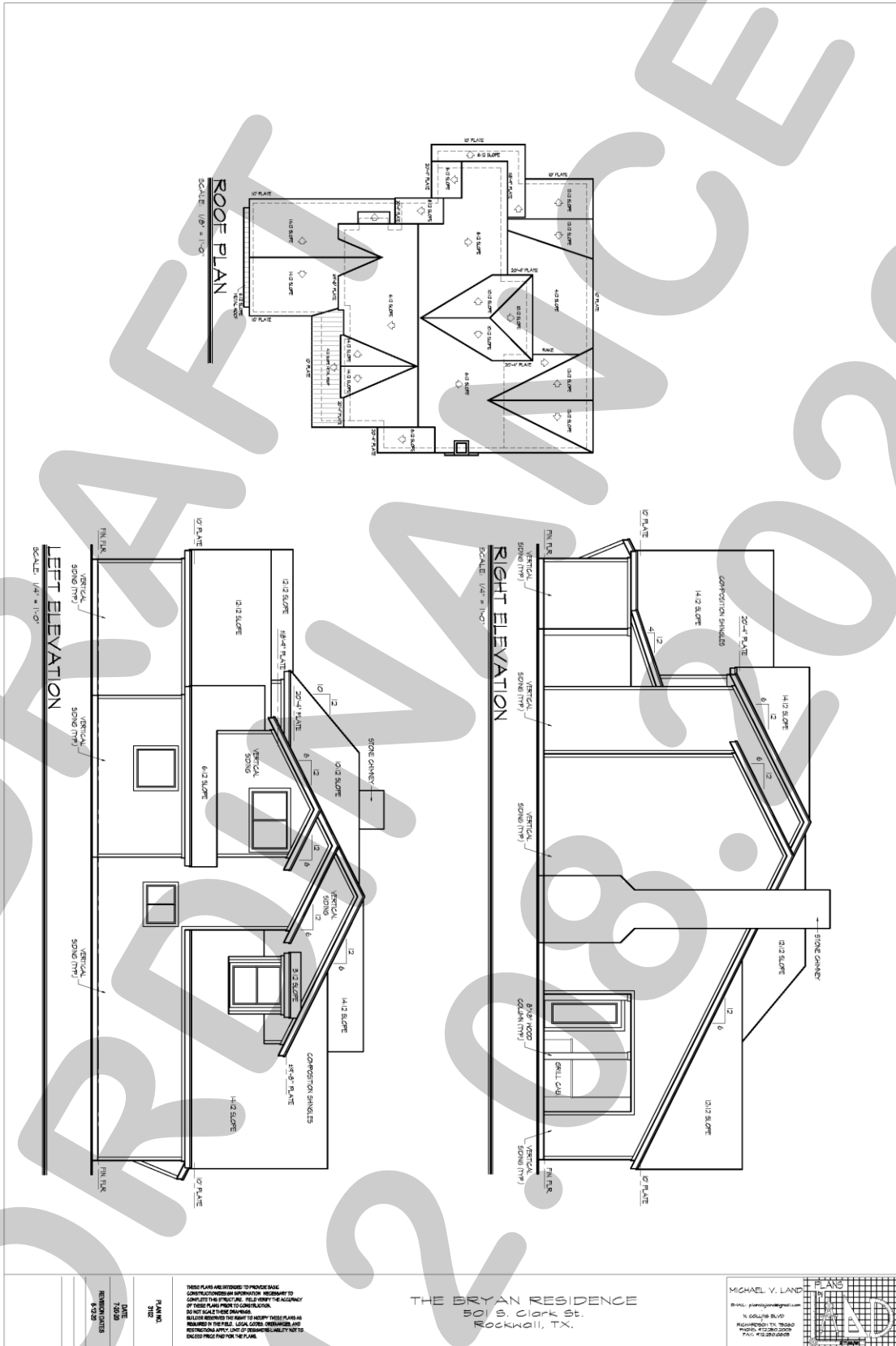


Exhibit 'C': Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: December 8, 2020

APPLICANT: Travis Redden

CASE NUMBER: Z2020-051; *Specific Use Permit (SUP) for a Residential Infill for 38 Shadydale Drive*

SUMMARY

Hold a public hearing to discuss and consider a request Travis Redden for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 12.5 (SF-12.5) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on November 29, 1959 by *Ordinance No. 73-44*. On November 12, 1973 the subject property was rezoned from an Agricultural (AG) District to Planned Development District 9 (PD-9) for Single-Family 22.5 (SF-22.5) District land uses. On November 4, 2013 Planned Development District 9 (PD-9) was amended by *Ordinance No. 13-43*, designating the subject property for Single-Family 12.5 (SF-12.5) District land uses. On March 8, 2014 the subject property was platted [*Case No. P2020-042*] as Lot 8, Block A, Shadydale Estates Addition. The subject property has remained vacant since the subject property was annexed.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B) (11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 38 Shadydale Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is an alleyway shared by the 14 homes in the Shady Dale Estates Subdivision and Phase 2 of the Fox Chase Subdivision. North of this is Phase 2 of the Fox Chase Subdivision which was platted on April 5, 1994 and consists of 25 single-family homes. These properties are zoned Planned Development District 9 (PD-9) for Single-Family 10 (SF-10) and Single-Family 12.5 (SF-12.5) District land uses.

South: Directly south of the subject property is Shadydale Lane, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) homes (*i.e. 2-5 Shady Dale Lane*) zoned Single-Family 16 (SF-16) District. South of this is the Benton Wood Subdivision, which was platted on January 13, 1993 and consists of 34 single-family homes. This subdivision is zoned Planned Development District 40 (PD-40) for Single-Family 10 (SF-10) District land uses.

East: Directly east of the subject property are six (6) homes (*i.e. the remainder of the Shadydale Estates Subdivision*) zoned Planned Development District 9 (PD-9) for Single-Family 12.5 District (SF-12.5) land uses. Beyond this is a home zoned Planned Development District 9 (PD-9) for Single-Family 10 (SF-10) District land uses. East of this is

Shadydale Lane, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) homes zoned Planned Development District 9 (PD-9) for Single-Family 10 (SF-10) District land uses.

West: Directly west of the subject property are seven (7) homes (*i.e. the remainder of the Shadydale Estates Subdivision*) zoned Planned Development District 9 (PD-9) for Single-Family 12.5 (SF-12.5) District land uses. Beyond this a 2.60-acre parcel of land zoned Single-Family 16 (SF-16) District. West of this is Ridge Road, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within 500-feet of Phases 1, 2 & 3 of the Fox Chase Subdivision and the Benton Woods Subdivision. All of these subdivisions have been in existence for greater than ten (10) years, consists of more than five (5) lots, and are greater than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Shadydale Lane compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Shadydale Lane and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	One (1) Story
Building Orientation	All of the homes are oriented toward the street they are built along.	The front elevation of the home will face South onto Shadydale Lane
Year Built	1968-2019	N/A
Building SF on Property	1,353 SF – 3,449 SF	2,969 SF (2,111 SF of Air-Conditioned Space)
Building Architecture	Single Family Homes	Comparable Architecture, on the side and rear elevations, to the surrounding Single-Family Homes
Building Setbacks:		
Front	20-Feet	20-Feet
Side	The side yard setbacks greater than six (6) feet.	10-Feet
Rear	The rear yard setbacks are greater than ten (10) feet.	55.37-Feet
Building Materials	Siding, Stucco, Stone, & Brick	Brick & HardiBoard Siding
Paint and Color	White, Grey, & Brown	Dark Green (Siding)
Roofs	Composite Shingles, Tile, & Standing Seam Metal (Secondary)	Asphalt Shingles
Driveways/Garages	Driveways either front the same street the single-family home faces or face an alley.	The garage will be attached on the rear of the home with Alley Access.

The proposed single-family home meets all of the density and dimensional requirements for Planned Development District 9 (PD-9) and the Unified Development Code (UDC); however, staff should point out that the home incorporates a board-and-batten siding pattern that is architecturally different than the other newer homes on Shady Dale, which are primarily faced with stone and brick. For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or

in the vicinity of the *subject property*, staff has provided photos of the properties along Shadydale Lane and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On November 18, 2020, staff mailed 81 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Fox Chase, Benton Woods, Rainbow Lakes, and Chandler's Landing Homeowner's Association (HOA), which are the only Homeowner's Association (HOA)/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff received one (1) notice in support of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-051

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address

38 Shadydale

Subdivision

Shady Dale Estates

Lot

8

Block

1

General Location

Ridge Road / Shadydale

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

PD 9

Current Use

VACANT

Proposed Zoning

Proposed Use

SF home

Acreage

0.30

Lots [Current]

1

Lots [Proposed]

1

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner

Travis Redden

☐ Applicant

Contact Person

Contact Person

Address

1115 Concan Drive

Address

City, State & Zip

Forney, TX 75126

City, State & Zip

Phone

214-315-3952

Phone

E-Mail

asturiasdevelopments@gmail.com

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Travis Redden [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 21 day of October, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

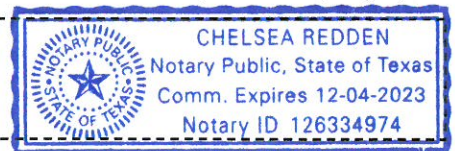
Given under my hand and seal of office on this the 21 day of October, 2020.

Owner's Signature

Travis Redden

Notary Public in and for the State of Texas

Chelsea Redden



My Commission Expires

12/04/23



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

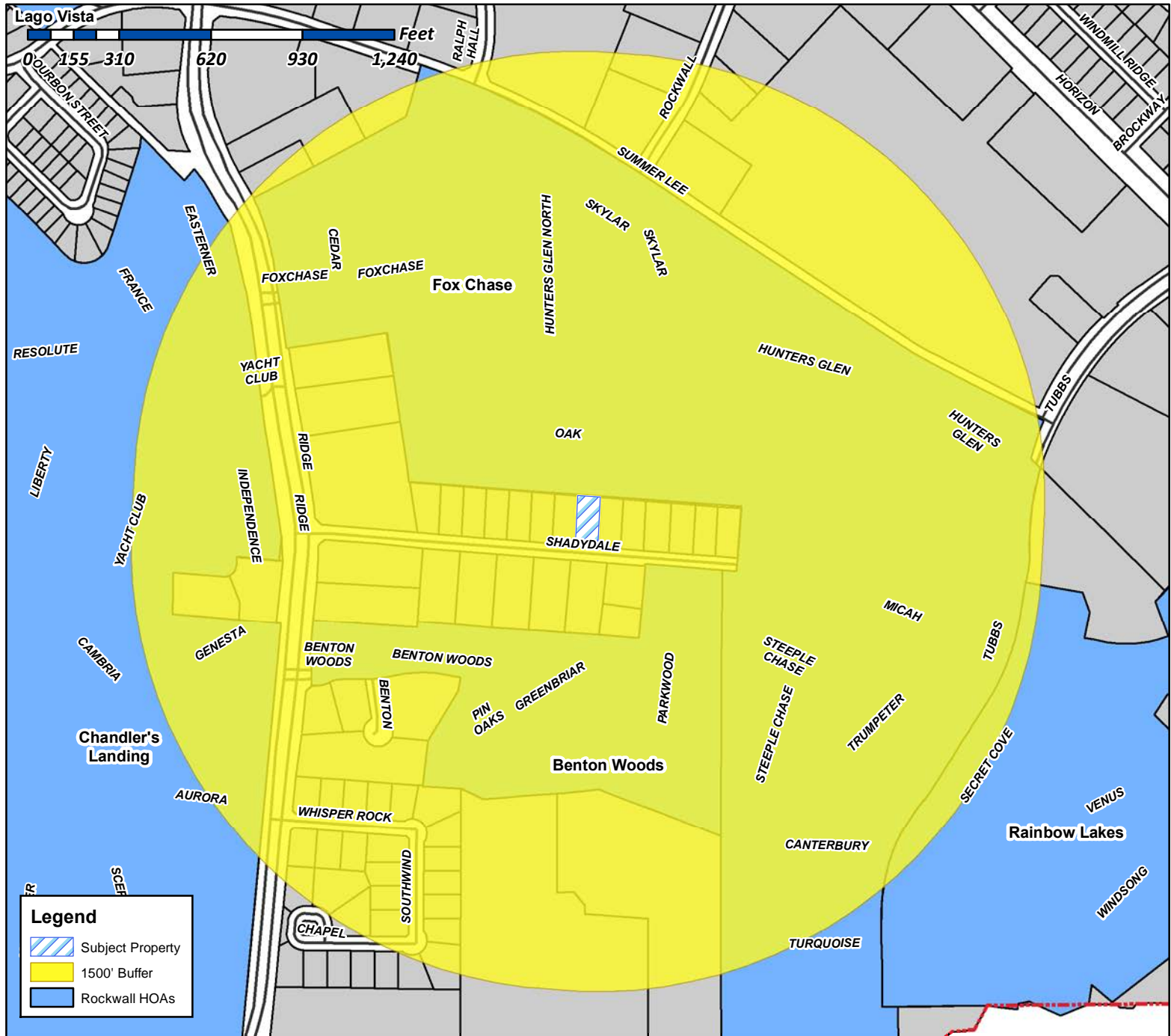
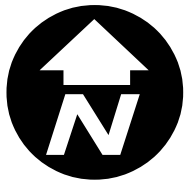




City of Rockwall

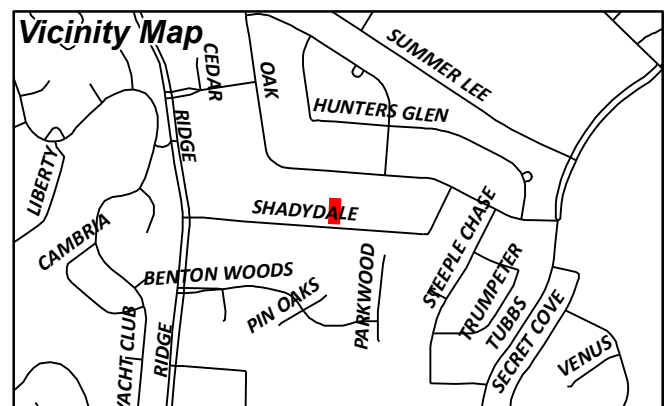
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-051
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 9 (PD-9)
Case Address: 38 Shadydale Lane

Date Created: 11/13/2020
For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Wednesday, November 18, 2020 2:30 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: HOA Map (11.13.2020).pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on Friday, November 20, 2020. The Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-051 Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request Travis Redden for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

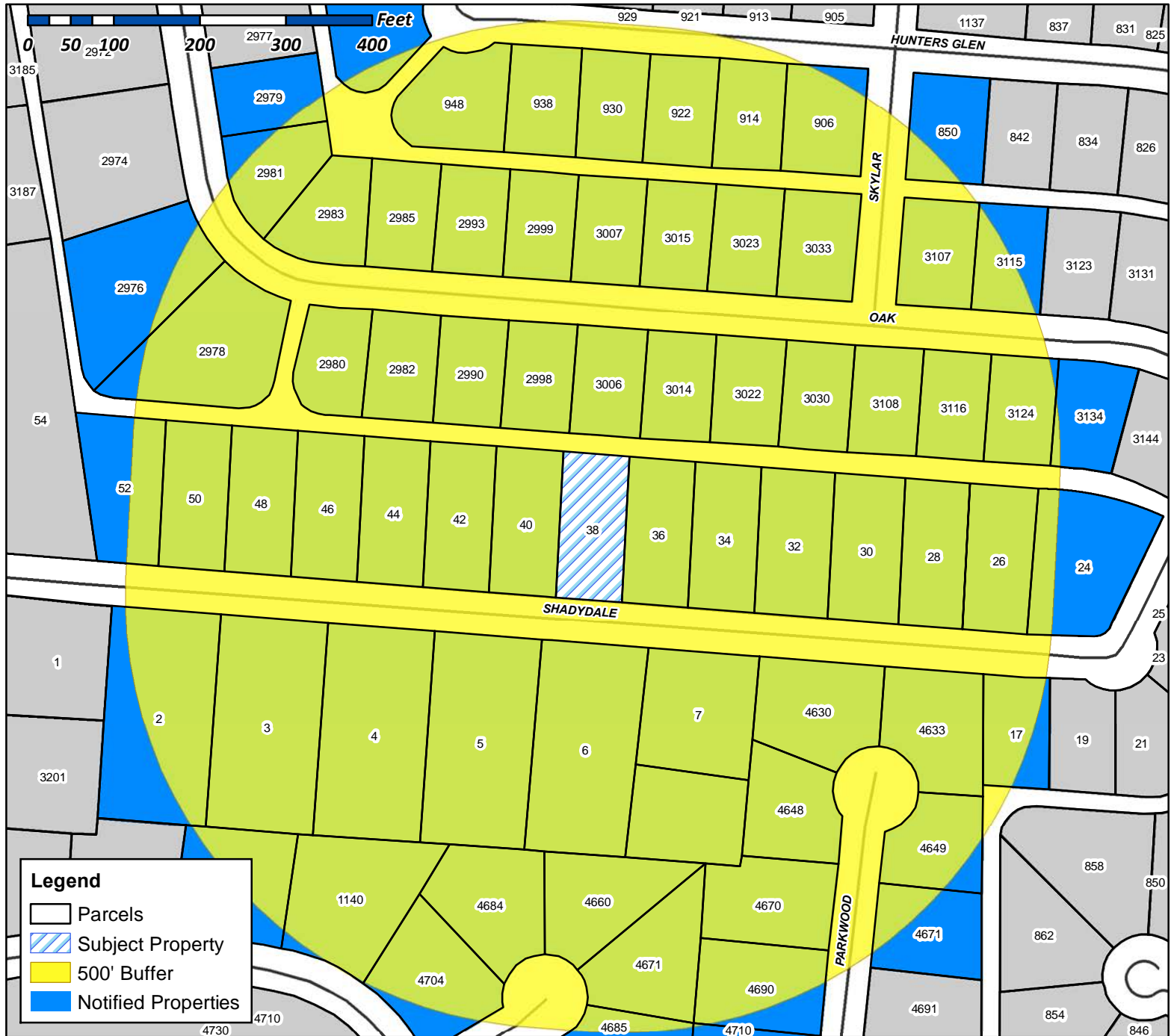
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City of Rockwall

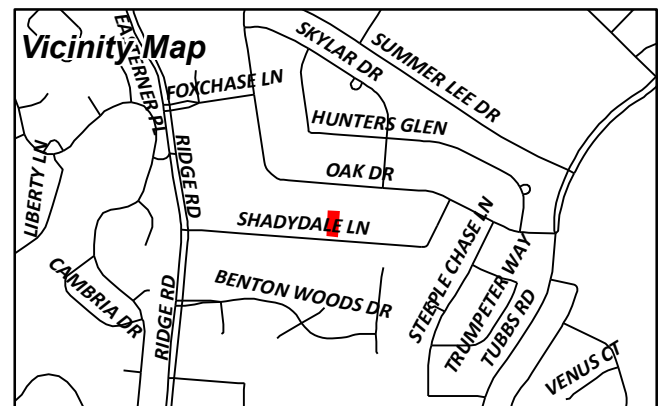
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-051
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 9 (PD-9)
Case Address: 38 Shadydale Lane

Date Created: 11/13/2020
For Questions on this Case Call (972) 771-7745



BCL REAL ESTATE LLC
103 GROSS RD BLDG A
MESQUITE, TX 75149

ROYALAND PROPERTIES LLC
11034 GRISSOM LANE
DALLAS, TX 75229

REDDEN TRAVIS
1115 CONCAN DRIVE
FORNEY, TX 75126

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

EDWARDS RICHARD J
1140 BENTON WOODS DR
ROCKWALL, TX 75032

TIMBES GARY R & ELIZABETH S
1164 BENTON WOODS DR
ROCKWALL, TX 75032

TALCOTT CLARECE
1606 HIDDEN CREEK DR
ROYSE CITY, TX 75189

BALLARD STEVE & ANNABETH
17 SHADYDALE LANE
ROCKWALL, TX 75032

BYBEE TERRY DON & CATHERINE DENISE
2 SHADYDALE LANE
ROCKWALL, TX 75032

WILLIS GEORGE V & KAREN
24 SHADY DALE LN
ROCKWALL, TX 75032

SUDELA THOMAS S AND KAREN C
26 SHADY DALE LN
ROCKWALL, TX 75032

WEINTRAUB DONALD AND KATHLEEN
28 SHADY DALE LANE
ROCKWALL, TX 75032

RAMOS EMILIO & MARIA C
2976 OAK DR
ROCKWALL, TX 75032

FOSTER JOHN CHRISTOPHER & DONNA
2978 OAK DR
ROCKWALL, TX 75032

SEXTON CHRISTOPHER
2979 OAK DR
ROCKWALL, TX 75032

SALUCCI JOSEPH LILIA
2980 OAK DR
ROCKWALL, TX 75032

FLORANCE JOSEPH V
2981 OAK DRIVE
ROCKWALL, TX 75032

COOKS LESTER L & DORIS M
2982 OAKDR
ROCKWALL, TX 75032

ELWONGER MARLENA JOY AND JASON
COLEMAN
2983 OAK DR
ROCKWALL, TX 75032

QUALLS CHARLES S & MARY K
2985 OAK DR
ROCKWALL, TX 75032

LACY SUE LIFE ESTATE AND
PHYLLIS COTTON AND KERI LACY ZUCKERBROW
2990 OAK DRIVE
ROCKWALL, TX 75032

CHOATE RANDELL G & CAROLYN J
2993 OAK DR
ROCKWALL, TX 75032

THORNLEY JILL E & GERALD R
2996 HUNTERS GLN N
ROCKWALL, TX 75032

FRISBY JOHN R & THERESA M
2998 OAK DR
ROCKWALL, TX 75032

COUGHLIN BRIAN & KAREN
2999 OAK DR
ROCKWALL, TX 75032

MITCHELL RYAN PATTON & AMANDA NICOLE
3 SHADYDALE LANE
ROCKWALL, TX 75032

BESS JULIE M AND JOHN HAGAMAN
30 SHADY DALE LN
ROCKWALL, TX 75032

HOYA CHARLOTTE G
3006 OAK DR
ROCKWALL, TX 75032

TALCOTT CLARECE
3007 OAKDR
ROCKWALL, TX 75032

GROSS STEPHEN R & MICHELLE L
3014 OAK DR
ROCKWALL, TX 75032

ROYALAND PROPERTIES LLC
3015 OAKDR
ROCKWALL, TX 75032

OSBORN DAVID R & DELL A
3021 RIDGE RD SUITE A PMB #131
ROCKWALL, TX 75032

FOLKS ARCHIE PATRICK & JANETTE E
3022 OAK DR
ROCKWALL, TX 75032

PETROCELLY JUNE LIVING TRUST
JUNE PETROCELLY TRUSTEE
3023 OAK DRIVE
ROCKWALL, TX 75087

COOKS LESTER L & DORIS M
3026 ANDREW DR
FARMERSVILLE, TX 75442

MCDONALD NICOLE AND ADAM
3030 OAK DR
ROCKWALL, TX 75032

CLARK ROGER AND VICKIE LYNN
3033 OAK DRIVE
ROCKWALL, TX 75032

NANCE CARLTON ERIC & RHONDA D
3107 OAK DR
ROCKWALL, TX 75032

BOWERS DENNIS & COLLEEN
3108 OAK DR
ROCKWALL, TX 75032

MCMAHON SANDRA
3115 OAK DR
ROCKWALL, TX 75032

BEVAN MARILYN
3116 OAK DR
ROCKWALL, TX 75032

CHILDRESS SHERRY L
(ALICE CHILDRESS LIFE ESTATE)
3124 OAK DR
ROCKWALL, TX 75032

MANNO SHARON &
PAUL FULLINGTON
3134 OAK DR
ROCKWALL, TX 75032

KASIRI SAHBA AND SARA SADEGHI
32 SHADY DALE LN
ROCKWALL, TX 75032

TINDALL CINDY P
34 SHADY DALE LN
ROCKWALL, TX 75032

WATSON BRANDON AND VALERIE
36 SHADY DALE LN
ROCKWALL, TX 75032

REDDEN TRAVIS
38 SHADY DALELN
ROCKWALL, TX 75032

RHUDY FAMILY REVOCABLE LIVING TRUST
RHUDY THOMAS RICHARD AND LAURA MARIE-
TRUSTEES
3923 POSTRIDGE TRAIL
MELBOURNE, FL 32934

TASSET AUSTIN & KENNEDY
4 SHADY DALE LANE
ROCKWALL, TX 75032

CASTLEROCK CUSTOM BUILDERS LLC
40 SHADY DALELN
ROCKWALL, TX 75032

PITTMAN JAMES CHRISTOPHER AND AMY
42 SHADY DALE LANE
ROCKWALL, TX 75032

MARTINEZ MAYRA
44 SHADY DALE LANE
ROCKWALL, TX 75032

VITALE LINDA A
46 SHADY DALE LN
ROCKWALL, TX 75032

KHODAPARAST RAHIM & ROYA
4630 PARKWOOD DR
ROCKWALL, TX 75087

VEST DONALD R
4633 PARKWOOD DR
ROCKWALL, TX 75032

CARNEVALE EDWARD A JR AND PAMELA D
4648 PARKWOOD DRIVE
ROCKWALL, TX 75032

OSBORN DAVID R & DELL A
4649 PARKWOODDR
ROCKWALL, TX 75032

FREEMAN DENWARD LEE & ELIZABETH ANN
4660 GREENBRIAR CT
ROCKWALL, TX 75032

KUBIN CHRISTOPHER J AND ABIGAIL
4670 PARKWOOD DR
ROCKWALL, TX 75032

LIGHT LEIGH ANN AND JEFF
4671 GREENBRIAR CT
ROCKWALL, TX 75032

ZEHR JACK L & EDITH L
4671 PARKWOOD DR
ROCKWALL, TX 75032

ANSARI CYRUS
4684 GREENBRIAR CT
ROCKWALL, TX 75032

HAIN MARGARET GUNTHER AND
STEPHANIE HAIN TORRES
4685 GREENBRIAR CT
HEATH, TX 75032

RICHARDSON JIM & CAROL
4690 PARKWOOD DR
ROCKWALL, TX 75032

PARKS TODD L AND RHONDA DENISE
4704 GREENBRIAR CT
ROCKWALL, TX 75032

CARPENTER CRAIG S & EVE E
4710 PARKWOOD DR
ROCKWALL, TX 75032

FAULKNER DANICA J AND MATTHEW L JOHNS
48 SHADY DALE LN
ROCKWALL, TX 75032

RHUDY FAMILY REVOCABLE LIVING TRUST
RHUDY THOMAS RICHARD AND LAURA MARIE-
TRUSTEES
5 SHADYDALELN
ROCKWALL, TX 75032

SLABAS KAREN AND JEFFREY
50 SHADY DALE LN
ROCKWALL, TX 75032

SLABAS KAREN AND JEFFREY
52 SHADY DALELN
ROCKWALL, TX 75032

CARTER SHARON R
BLANKENSHIP DON L & AUDREY LIFE ESTATE
6 SHADY DALE LN
ROCKWALL, TX 75032

WEBSTER LAWRENCE C & DEBORAH C
7 SHADYDALELN
ROCKWALL, TX 75032

CARNES LINDA M
850 HUNTERS GLN
ROCKWALL, TX 75032

WEBSTER LAWRENCE C & DEBORAH C
888 NIGHTLIGHT DR
YORK, PA 17402

ERICKSON MARIUM E LIVING TRUST
906 HUNTERS GLEN
ROCKWALL, TX 75032

MONK JEFFREY CHAD REVOCABLE LIVING TRUST
JEFFREY CHAD MONK TRUSTEE
914 HUNTERS GLEN
ROCKWALL, TX 75032

TEAFF DAVID J & KAREN L
922 HUNTERS GLN
ROCKWALL, TX 75032

CLARKE VANCE M & PAMELA L
930 HUNTERS GLN
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
938 HUNTERS GLEN
ROCKWALL, TX 75032

HERVEY GAIL
948 HUNTERS GLN
ROCKWALL, TX 75032

CASTLEROCK CUSTOM BUILDERS LLC
PO BOX 8333
GREENVILLE, TX 75404

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-051: Specific Use Permit for Residential Infill

Hold a public hearing to discuss and consider a request Travis Redden for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-051: Specific Use Permit for Residential Infill

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Gamez, Angelica

From: Denward Freeman <denwardfreeman@msn.com>
Sent: Monday, November 23, 2020 3:18 PM
To: Planning
Subject: Case No.Z2020-051

To Mr. Henry Lee,

Please let this email serve as my approval/support of the request for SUP for Residential Infill for Case No. Z2020-051. If you have any questions regarding this communication please call me at 214-686-7040.

Thanks,
Denward L. Freeman
4660 Greenbriar Cir
Rockwall, Tx

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CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

LOCATED AT _____ 38 SHADY DALE LANE _____, IN THE CITY OF _____, ROCKWALL _____, TEXAS,
LOT NO. _____, BLOCK NO. _____, SUBDIVISION _____, _____, _____, _____, _____, _____,
OF _____ SHADY DALE ESTATES _____, AN ADDITION _____, _____, _____, _____, _____,
TO THE CITY OF _____, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE _____ PLAT THEREOF _____,
RECORDED IN CABINET _____, H _____, SLIDE _____, 399 OF THE _____ PLAT _____, RECORDS OF _____, ROCKWALL COUNTY, TEXAS.

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft

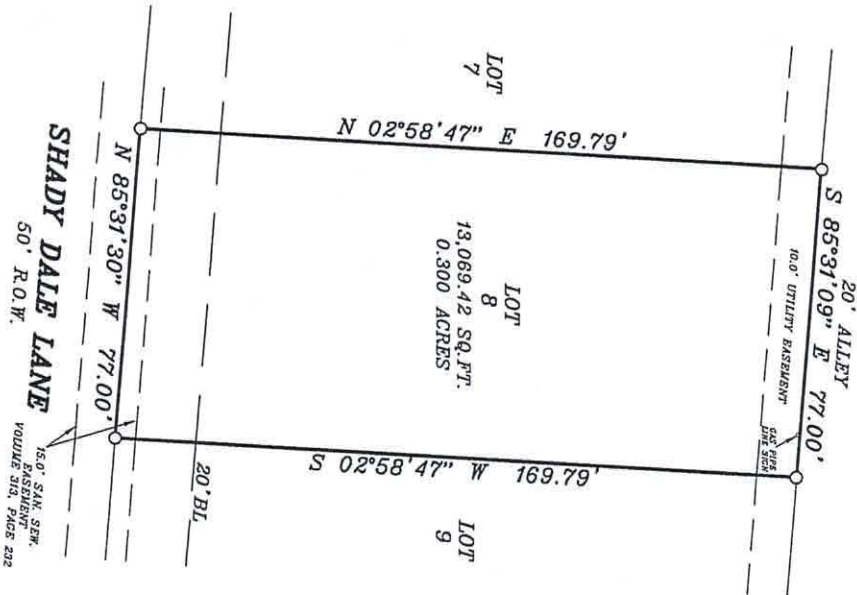
THE SOURCE SET FORTH HEREIN HAS BEEN DERIVED AND PREPARED AT THE REQUEST OF AND IN CONSULTATION WITH THE REPRESENTATIVES FORMED BY THE CLERK OF REPRESENTATIVES OF THE DISTRICT OF COLUMBIA, THE HOUSE OF COMMONS AND SENATE, THE JUDICIAL BRANCH AND LOCAL LAWYERS, WHO HAVE AGREED TO ACCEPT THE SOURCE SET FORTH ON THE DISTINCT OF FREEDOM OF INFORMATION ACT REQUESTS, RESTRICTIONS, ENCOURAGEMENTS OR OTHER FACTS OR MATTERS THAT MAY AFFECT THE SOURCE SET. THE SOURCE SET FORTH HEREIN IS NOT TO BE RELIED UPON FOR FUTURE CONSTRUCTION PURPOSES, CONTACT ALL COVERING AGENCIES, UNEMPLOYMENT, CIVIL SERVICE, ASSOCIATIONS, ETC.) PRIOR TO ANY EVALUATION OR CONSTRUCTION. THE TEXAS EDUCATION SAFETY SYSTEM CAN BE CONTACTED BY CALLING 811. CALL BEFORE YOU BEGIN.

NOTE: ACCORDING TO THE FIRM, IN COMMUNITY PANEL NO. 48397C00400, THIS PROPERTY APPEARS TO LIE IN ZONE X AND SHOULD BE ZONED AS SUCH.

THE SPECIAL FLOOD HAZARD AREA, THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE ON BARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES, THIS FLOOD STATEMENT AND/OR FLOOD UNITS SHOWN HEREON SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NOTE: BEARINGS ARE BASED ON SOUTH LINE OF LOT B, BLOCK 1 OF RECORDED PLAT. THIS SURVEY IS NOT A REPRESENTATION OF WARRANTY OF TITLE OR GUARANTEE OF OWNERSHIP.

TEXAS LICENSED SURVEYING FIRM REGISTRATION NUMBER 10150300

[illegible]

THE UNDERSIGNED REGISTERED PROFESSIONAL LAND SURVEYOR (BRAIN GALLIA) HEREBY CERTIFIES TO ALL EYES THAT THE ABOVE DESCRIBED ALLEAGANCE, TITLE AND TRANSFERRED INTERESTS ARE IN CONNECTION WITH THE TRANSACTION DESCRIBED IN G.F. 1879684-1061 THAT, THE SURVEY AND DISCREPANCY SET FORTH HEREON WERE PREPARED FROM AN ACTUAL ON-THE-GROUND INSPECTION OF THE SUBJECT PROPERTY; SUCH SURVEY WAS CONDUCTED BY THE UNDERSIGNED, OR UNDER HIS DIRECTION; THE SAID HEREON CORRECTLY REPRESENTS THE FACTS AS FOUND AT THE TIME THE SURVEY WAS PERFORMED AND IS NOT A RECONSTRUCTION OF RECORD INFORMATION; NO OTHER INVESTIGATION, EXAMINATION AND DISCREPANCY SET FORTH HEREON WERE CONDUCTED BY THE UNDERSIGNED, OR UNDER HIS DIRECTION, FOR THE PURPOSE OF VISUALLY VERIFYING THE ACCURACY OF THE SURVEY DATA AND THEREFORE THE SURVEY AND APPARENT ENCUMBRANCES OR PROVISIONS ON THE GROUND EXCEPT AS INDICATED, THE SURVEY SET FORTH HEREON WAS PERFORMED EXCLUSIVELY FOR THE BENEFIT OF THE ABOVE NOTED PARTIES AND TRANSACTIONS; ANY USE OF THIS SURVEY BY OTHER PARTIES AND/OR USE FOR ANY OTHER PURPOSE SHALL BE AT USER'S OWN RISK, AND THE UNDERSIGNED IS NOT RESPONSIBLE FOR ANY LOSS RESULTING THEREOF.

EXECUTED THIS _____ DAY OF _____ MARCH _____ 2018

BRAIN GALLIA
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5569



ACCEPTED BY: _____

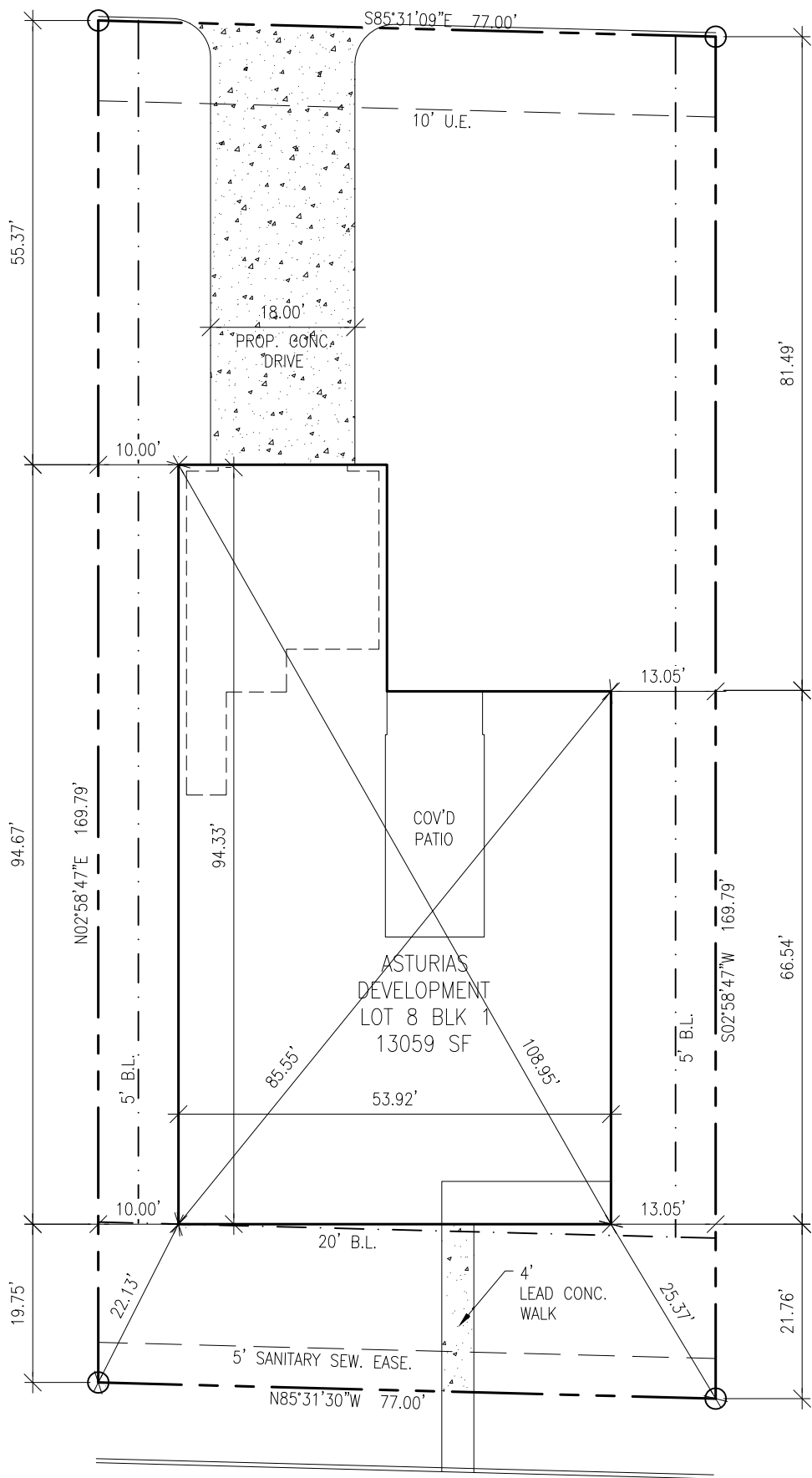
SIGNATURE	DATE	SIGNATURE	DATE
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SURVEY PLAT

38 SHADY DALE LANE

ROCKWALL, ROCKWALL COUNTY, TEXAS

ALLEY
(20' R.O.W. - ASPHALT)



Lot Coverage Calculations:

Slab	4307	SF
Patio/Stoop	0	SF
Drive	993	SF
Private-Walk	85	SF
Total Flatwork	1078	SF
Lot Coverage	32.9	%
Driveway Apron	0	SF
Public Walk	0	SF
Total Sod	853	SQ YD
Fence	0	SF

Legend:

—X—	Proposed Fence
---	Property Line
---	Building Lines
---	Easements
---	Swale Line
---	Silt Fence
XXX.X	Existing Grade
00.00	Proposed Grade

General Notes:

1. The purpose of this plan is to show the purposed building footprint as defined by the metes and bounds of the recorded plat.
2. Dimensions, setbacks, easements, plan selection, and any other information shown here in shall be verified at permitting and prior to construction for accuracy and compliance with all applicable codes and ordinances.
3. Builder is solely responsible for ensuring that the footprint is contained within the prepared building pad. The building pad shall be set high enough to allow for adequate drainage.
4. All calculations are approximate. They must be verified prior to permitting, purchasing, and/or construction. City side walk will not be included in flatwork calcs.
5. A form survey is required for verification of form placement prior to concrete pour. ELD accepts no liability where a form survey is not provided.

BUILDER: ASTURIAS DEVELOPMENTS

PLAN: CUSTOM

ADDITION: 38 SHADYDALE - PR

ELD JOB NO: DIF20-0868

ADDRESS: 38 SHADY DALE LANE

DRAWN BY: AA

LOT: 8 BLOCK: 1

CHECKED BY: ELD

CITY: ROCKWALL, TX

SCALE: 1:20

DATE 08/19/2020

PLOT PLAN
ENGINEERED FOR:

Asturias
Development

ERIC L. DAVIS ENGINEERING, INC.

120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericdavis@eldengineering.com



SHEET # - 10.1-PLOT PLAN

ASTURIAS DEVELOPMENT



PERSPECTIVE VIEW
NTS

GENERAL NOTES:

1. THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT AND ARE SUPPLIED TO ILLUSTRATE THE GENERAL TYPE OF CONSTRUCTION DESIRED. THE DRAWINGS ARE INTENDED TO IMPLY A PREMIUM QUALITY OF WORKMANSHIP THROUGHOUT.
2. DISCREPANCIES, ERRORS, OMISSIONS, AND ANY QUESTIONS REGARDING THE INTENT OF THE PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS SHALL BE REFERRED TO THE GENERAL CONTRACTOR FOR CLARIFICATION.
3. CONTRACTORS OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS OR CLEARANCES AND SHALL BE RESPONSIBLE FOR THE VERIFICATION THEREOF TO INSURE COMPLIANCE WITH THE DRAWINGS, SPECIFICATIONS, AND PERTINENT CODES. DIMENSIONS OF ANY EXISTING CONDITIONS MUST BE VERIFIED AT THE JOB SITE AND ANY DISCREPANCIES REPORTED TO THE GENERAL CONTRACTOR.
4. CONTRACTORS OR SUBCONTRACTORS SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTOR'S PROJECT MANAGERS / JOB SITE SUPERVISOR IF FOR ANY REASON THEY CANNOT COMPLY WITH ANY PAGE OF THE DRAWINGS, DOCUMENTS, DESIGN INTENT, OR SCHEDULES.
5. ALL WORK AND MATERIAL LISTED OR IMPLIED IN THESE DRAWINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTORS OR SUBCONTRACTORS RESPONSIBLE. ANY WORK ADVERSELY AFFECTING ANOTHER TRADE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR.
6. CONTRACTORS OR SUBCONTRACTORS SHALL DISPOSE OF CONSTRUCTION DEBRIS IN A TIMELY MANNER IN THE DUMPSTER PROVIDED BY THE GENERAL CONTRACTOR. EVERY EFFORT SHALL BE MADE TO MAINTAIN A CLEAN JOB SITE.
7. CONTRACTORS OR SUBCONTRACTORS SHALL TAKE NOTE THAT ANY COST CAUSED BY IN-PERMANENT WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELAYED ORDERING, SHALL BE BORNE BY THE PARTY RESPONSIBLE.
8. DURING CONSTRUCTION, CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM THEIR CONSTRUCTION ACTIVITIES. ANY GUTTERS OR FLASHINGS OF ANY EXISTING FINISHED WORK SHALL MATCH ADJACENT SURFACES.
9. SAFETY FIRST! CONTRACTORS OR SUBCONTRACTORS SHALL FURNISH ANY EQUIPMENT OR SUPPLIES NECESSARY TO PERFORM THEIR WORK IN A MANNER THAT SHALL KEEP OR EXCEED OSHA REQUIREMENTS.
10. CONTRACTORS OR SUBCONTRACTORS SHALL PROVIDE ALL TEMPORARY ENGINEERS LIGHTS, COVERING A FIRE PROTECTION, AND ANY OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THEIR PORTION OF THE CONSTRUCTION CONTRACT FOR ANY AREA PERTINENT TO THE SUBCONTRACTORS SCOPE OF WORK. SUBCONTRACTORS SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ANY EQUIPMENT, PROTECTION, ETC., THAT MUST REMAIN IN PLACE AFTER COMPLETION OF THE SUBCONTRACTORS PORTION OF WORK.

BUILDING CODE ANALYSIS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

CONTRACTOR NOTES:

1. ALL EXTERIOR WALLS SHALL BE 2x6.
2. ALL INTERIOR WALLS SHALL BE 2x4 L.N.O.
3. ALL FINISHED WALLS SHALL BE FIELD VERIFIED PRIOR TO ANY CUSTODY CABINETRY.
4. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
5. 3/4" AD & 2" VENT IN WALL LOCATIONS UP TO 1" SHALL BE MADE IN ORDER TO GET FILLING IN WALLS, SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE LIABILITY IF NOT DONE.
6. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR FOR CONSTRUCTION.
7. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT THE OUTSIDE EDGES OF ADJACENT DOOR, WINDOW AND TRANSOM TRIM IS ALIGNED L.N.O.
8. WINDOW SIZES GIVEN ARE APPROXIMATE L.N.O. SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENINGS WITH MANUFACTURER.
9. FRAME ALL DOORS 5' FROM CORNERS WHERE POSSIBLE.

Layout Page Table	
Label	Title
A-1	COVER PAGE
A-2	SITE PLAN AND ROOF PLAN
A-3	FRONT AND REAR ELEVATIONS
A-4	LEFT AND RIGHT ELEVATIONS
A-5	FLOOR PLAN W/ DIMENSIONS
A-6	ELECTRICAL PLAN

PLANS FOR:
ASTURIAS DEVELOPMENT
TRAVIS REDDEN
38 SHADY DALE LANE
ROCKWALL, TEXAS 75082

TITLE:
COVER PAGE

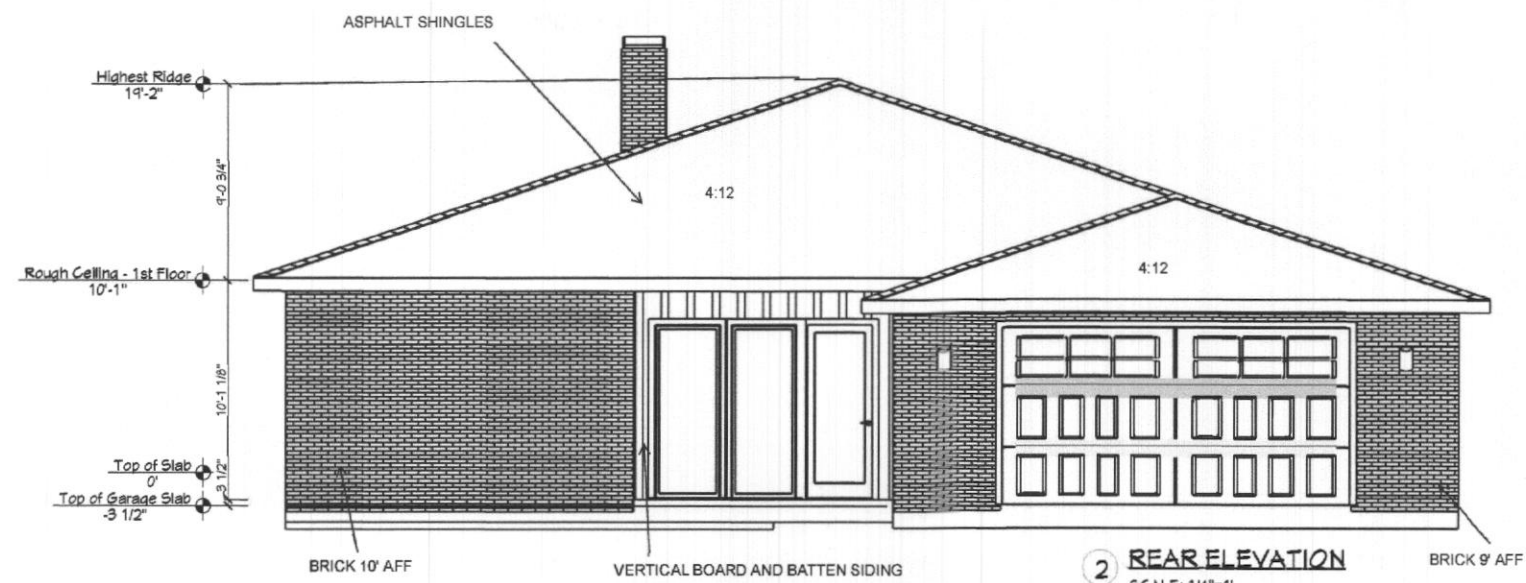
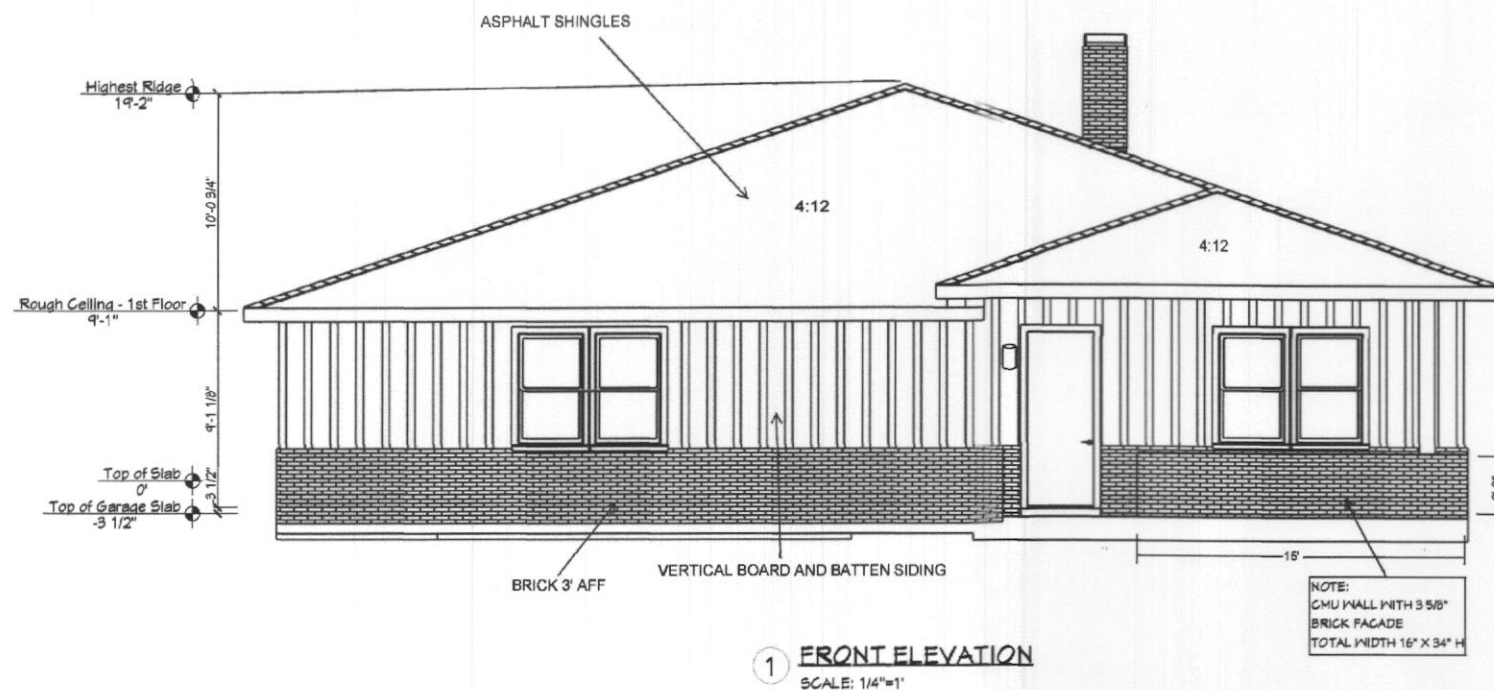
SHANNON NEWBOM MARK NEWBOM
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
6/16/2020

SCALE:
AS SHOWN

SHEET:

A-1



PLANS FOR:
ASTURIAS DEVELOPMENT
TRAVIS REDDEN
38 SHADY DALE LANE
ROCKWALL, TEXAS 75082

TITLE:
FRONT & REAR ELEVATIONS

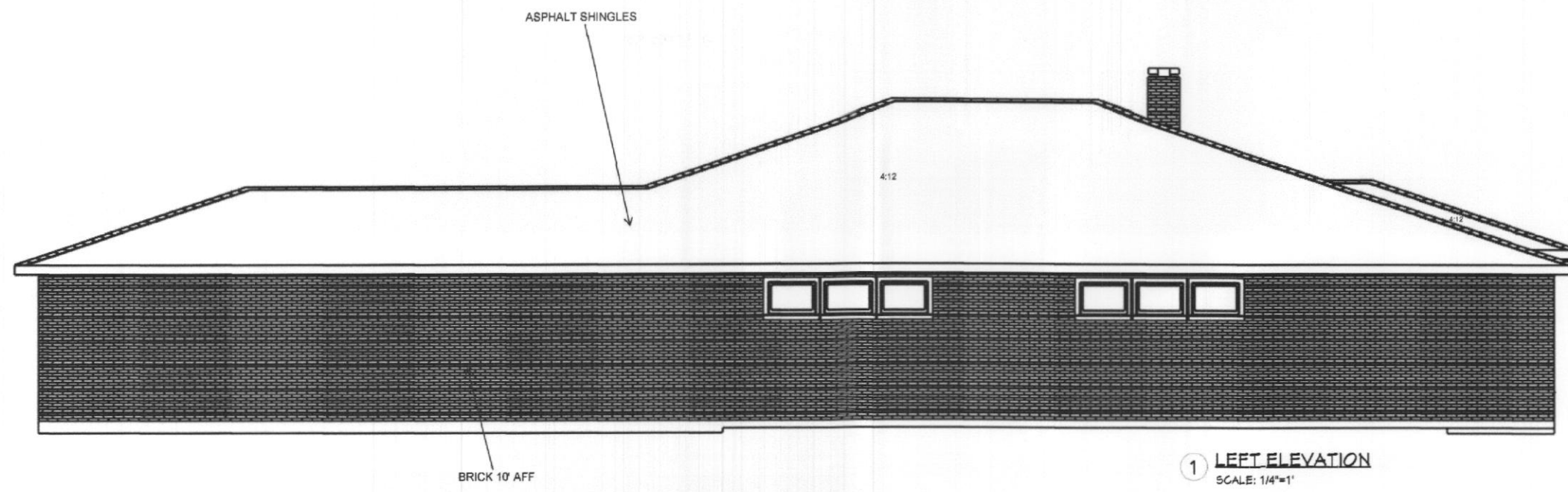
SHANNON NEWSOM MARK NEWSOM
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
6/16/2020

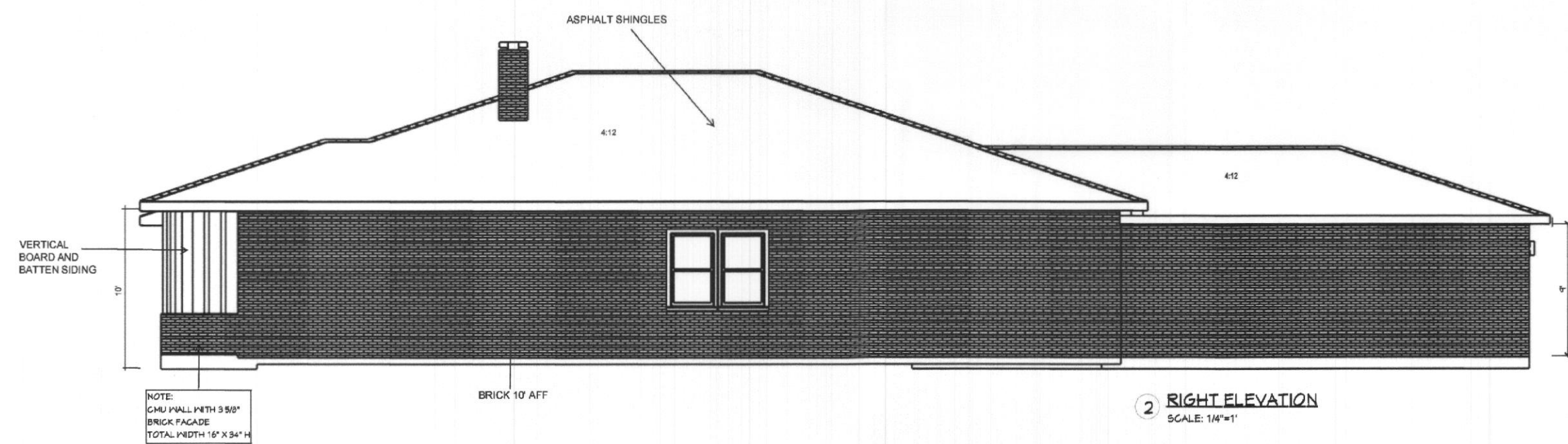
SCALE:
AS SHOWN

SHEET:

A-3



1 LEFT ELEVATION
SCALE: 1/4"=1'



2 RIGHT ELEVATION
SCALE: 1/4"=1'

PLANS FOR: ASTURIAS DEVELOPMENT
TRAVIS REDDEN
38 SHADY DALE LANE
ROCKWALL, TEXAS 75082

TITLE: SIDE ELEVATIONS

SHANNON NEWBOM MARK NEWBOM
CADAZIGN
ROYSE CITY, TEXAS 75189
469-338-9863
DRAWN BY:

DATE:
6/16/2020

SCALE:
AS SHOWN

SHEET:
A-4

Adjacent Housing Attributes

Address	Housing Type	Year Built	House SF	Accessory Building SF	Exterior Materials
2 Shadydale Lane	Single-Family Home	1985	2,845	N/A	Brick
3 Shadydale Lane	Single-Family Home	1968	2,686	720	Brick
4 Shadydale Lane	Single-Family Home	1982	2,490	80	Brick
5 Shadydale Lane	Single-Family Home	1969	2,424	1,152	Brick
6 Shadydale Lane	Single-Family Home	1970	1,353	120	Stucco
7 Shadydale Lane	Single-Family Home	1978	2,437	N/A	Brick
17 Shadydale Lane	Single-Family Home	2012	2,387	84	Brick
19 Shadydale Lane	Single-Family Home	1999	2,376	N/A	Brick
21 Shadydale Lane	Single-Family Home	1996	2,782	N/A	Brick
23 Shadydale Lane	Single-Family Home	1998	3,119	80	Brick
24 Shadydale Lane	Single-Family Home	1998	3,057	N/A	Brick
26 Shadydale Lane	Single-Family Home	2015	3,002	N/A	Stone
28 Shadydale Lane	Single-Family Home	2015	2,817	N/A	Brick
30 Shadydale Lane	Single-Family Home	2016	2,960	N/A	Brick
32 Shadydale Lane	Single-Family Home	2016	2,914	N/A	Brick
34 Shadydale Lane	Single-Family Home	2016	3,109	N/A	Brick
36 Shadydale Lane	Single-Family Home	2019	2,450	N/A	Brick
38 Shadydale Lane	RCAD Indicates Vacant		Subject Property		
40 Shadydale Lane	Single-Family Home	2018	3,372	N/A	Brick
42 Shadydale Lane	Single-Family Home	2015	3,132	N/A	Brick
44 Shadydale Lane	Single-Family Home	2015	3,113	N/A	Brick
46 Shadydale Lane	Single-Family Home	2014	3,138	N/A	Brick
48 Shadydale Lane	Single-Family Home	2014	3,449	N/A	Brick
50 Shadydale Lane	Single-Family Home	2014	3,155	N/A	Brick
Averages:		2002	2,807	373	



2 Shadydale Lane



3 Shadydale Lane



4 Shadydale Lane



5 Shadydale Lane



6 Shadydale Lane



7 Shadydale Lane



17 Shadydale Lane



19 Shadydale Lane



21 Shadydale Lane



23 Shadydale Lane



24 Shadydale Lane



26 Shadydale Lane



28 Shadydale Lane



30 Shadydale Lane



32 Shadydale Lane



34 Shadydale Lane



36 Shadydale Lane



38 Shadydale Lane



40 Shadydale Lane



42 Shadydale Lane



44 Shadydale Lane



46 Shadydale Lane



48 Shadydale Lane



50 Shadydale Lane

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 9 (PD-9) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.30-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 8, BLOCK A, SHADYDALE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Travis Redden for the approval of a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow the construction of a single-family home on a 0.30-acre parcel of land being described as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) [Ordinance No. 13-43] for single-family residential land uses, addressed as 38 Shadydale Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 9 (PD-9) [Ordinance No. 13-43] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 9 (PD-9) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill adjacent to Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 9 (PD-9) [Ordinance No. 13-43] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

Exhibit 'A'
Location Map and Survey

Address: 38 Shadydale Lane

Legal Description: Lot 8, Block A, Shadydale Estates Addition

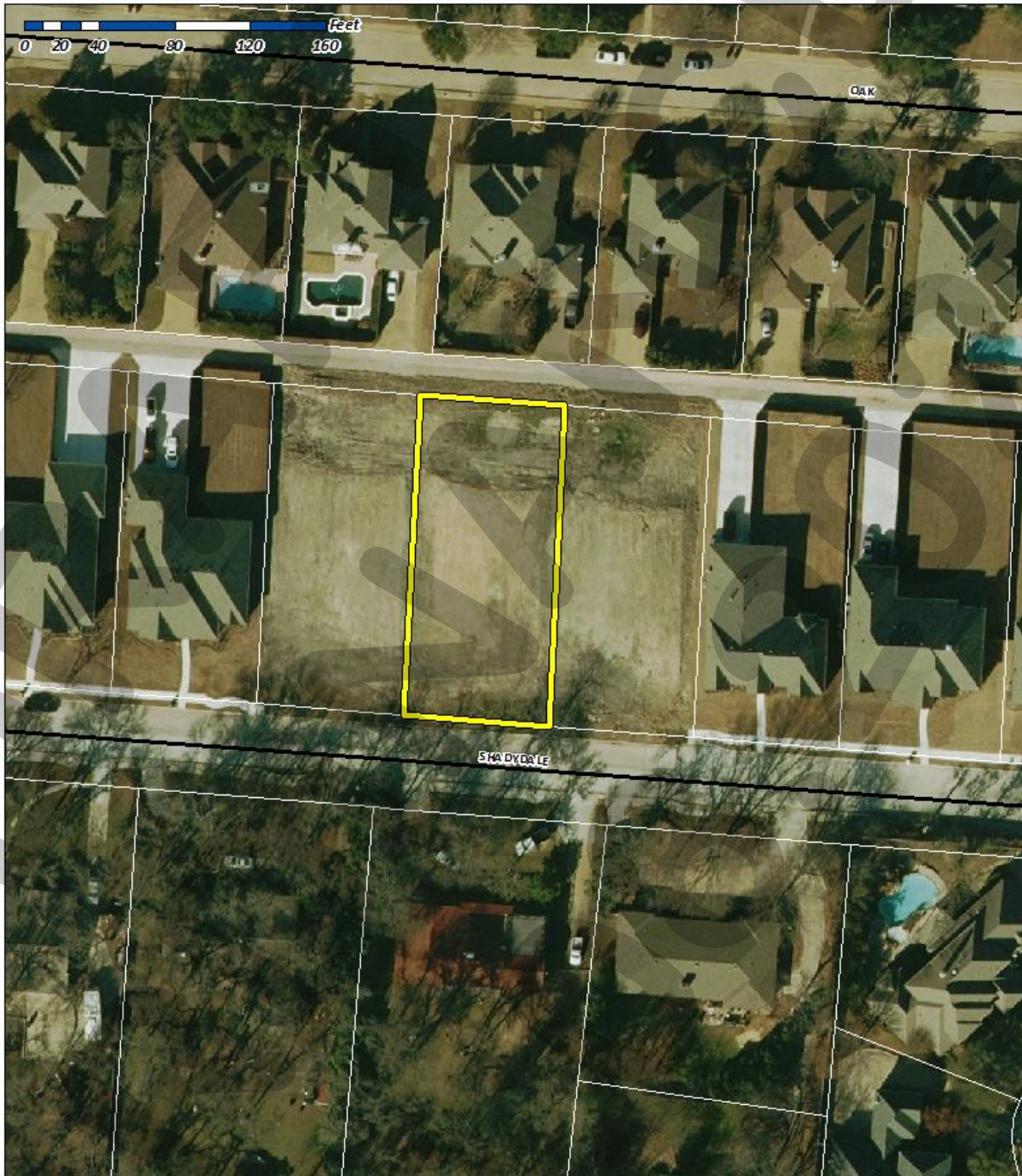


Exhibit 'B':
Residential Plot Plan

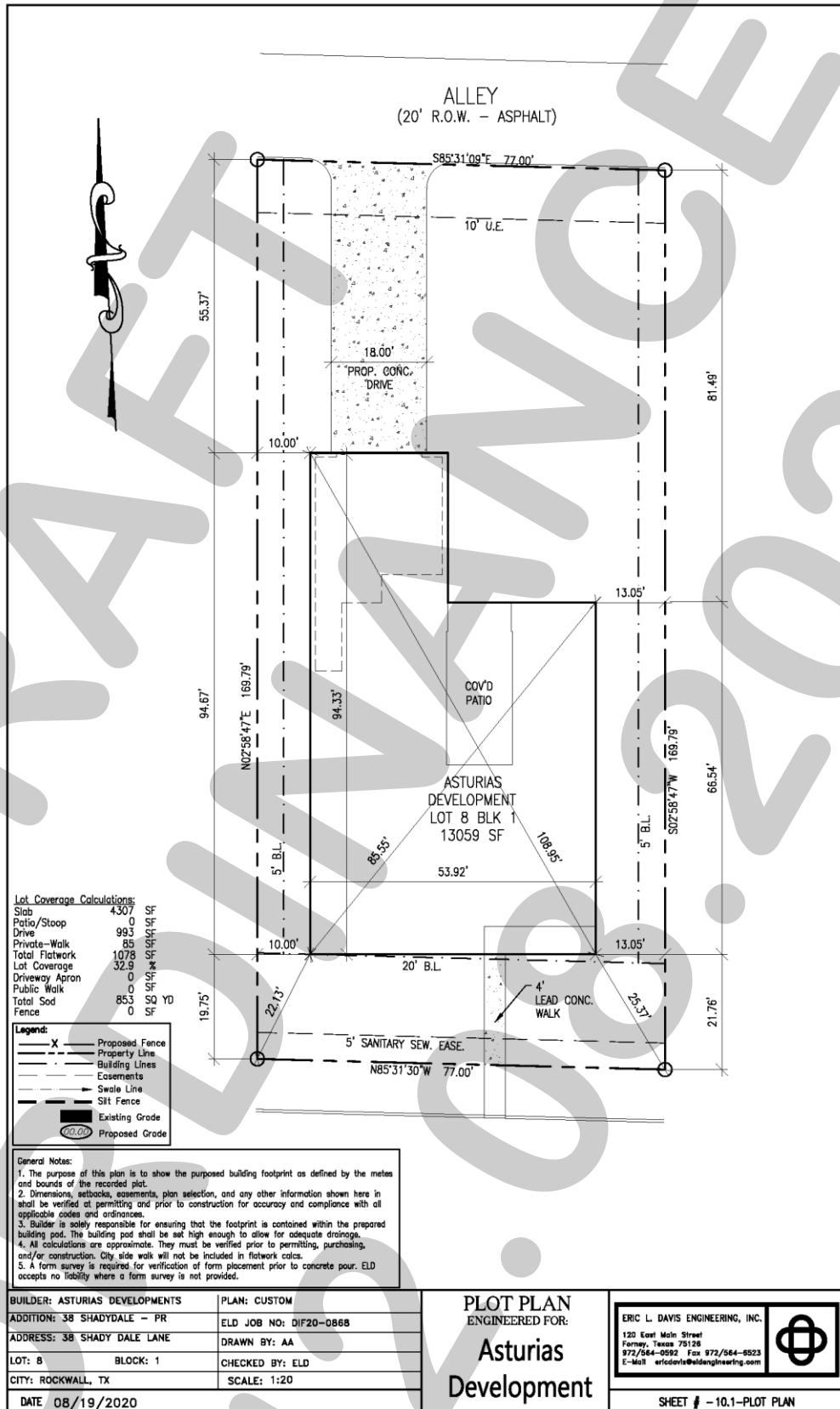
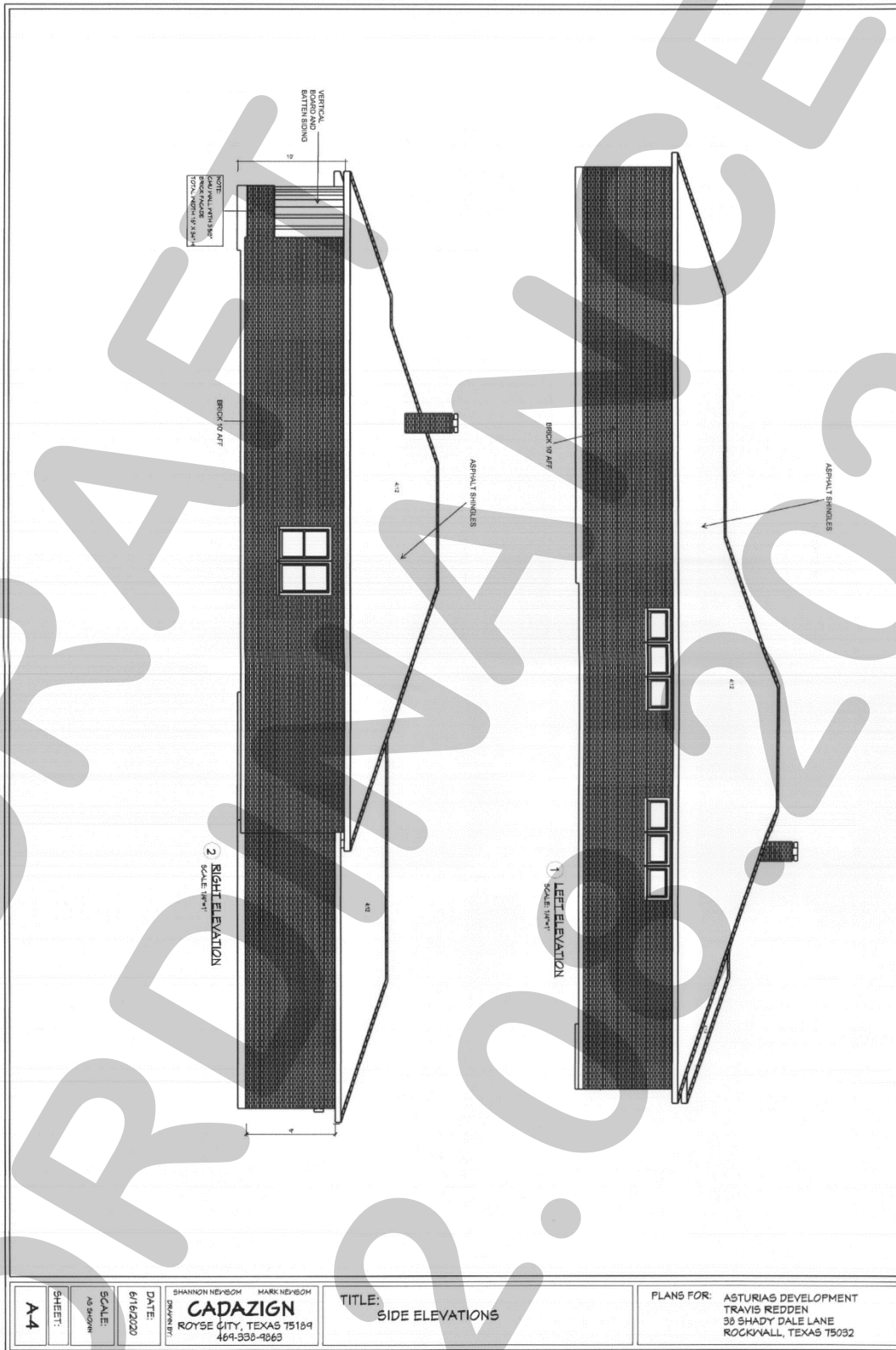


Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: December 8, 2020

APPLICANT: Thomas Jones; *Tomden Engineering, LLP*

CASE NUMBER: Z2020-052; *Zoning Change from Agricultural (AG) District to Commercial (C) District for 5651 SH-276*

SUMMARY

Hold a public hearing to discuss and consider a request by Thomas Jones of Tomden Engineering, LLP on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5651 SH-276, and take any action necessary.

BACKGROUND

The subject property is a 3.94-acre parcel of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22. The subject property was annexed into the City of Rockwall on December 22, 2008 by *Ordinance No. 08-65*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the Rockwall Central Appraisal District (RCAD) a 10,100 SF metal building and 420 SF canopy were constructed on the property in 2003, and another 10,000 SF metal building was constructed in 2006. On March 1, 2012, the City issued a remodel permit [BLD2012-0041] for both buildings, and on April 26, 2012 the City issued a Certificate of Occupancy (CO) for *Rockwall Friendship Baptist Church*. There has no other construction or permitting activity on the subject property since the CO was issued.

PURPOSE

On November 13, 2020, the applicant -- *Thomas Jones of Tomden Engineering, LLP* -- submitted an application requesting to change the zoning of the *subject property* from an Agricultural (AG) District to a Commercial (C) District for the purpose of facilitating an expansion of the *Church/House of Worship* land use.

ADJACENT LAND USES AND ACCESS

The subject property is located at 5651 SH-276. The land uses adjacent to the subject property are as follows:

- North:** Directly north of the subject property is the corporate limits of the City of Rockwall. Beyond this is SH-276, which is identified as a TXDOT6D (*i.e. Texas Department of Transportation, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.
- South:** Directly south of the subject property is a 60.72-acre tract of land (*i.e. Tract 8-01 of the J. H. Bailey Survey, Abstract No. 22*) zoned Agricultural (AG) District. Beyond this are several large tracts of vacant land zoned Agricultural (AG) District.
- East:** Directly east of the subject property are four (4) developed parcels of land (*i.e. Tracts 1-5, 1-6, 1-7 & 1-9 of the J. H. Bailey Survey, Abstract No. 22*) zoned Agricultural (AG) District. Beyond this are two (2) large vacant tracts of land (*i.e. Tract 4 & 10-1 of the J. R. Marrs Survey, Abstract No. 152*) zoned Agricultural (AG) District. Beyond this is the corporate limits of the City of Rockwall.

West: Directly west of the subject property is a 11.85-acre vacant tract of land (*i.e. Tract 1-1 of the J. H. Bailey Survey, Abstract No. 22*) zoned Commercial (C) District. Beyond this are three (3) single-family homes on three (3) tract of land (*i.e. Tract 1-2, 1-3 & 1-4 of the J. H. Bailey Survey, Abstract No. 22*) zoned Agricultural (AG) District. West of this is a 30.00-acre vacant parcel of land (*i.e. Tract 1 of the J. H. Bailey Survey, Abstract No. 22*) zoned Agricultural (AG) District. Beyond this is Zollner Road, which is identified as a M4U (*i.e. major, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST

The applicant is requesting to rezone the 3.94-acre subject property from an Agricultural (AG) District to a Commercial (C) District for the purpose of expanding the current *Church/House of Worship*. Based on the concept plan provided by the applicant, the existing *Church/House of Worship* is proposing to construct a 3,500 SF addition and increase the parking capacity on the subject property to accommodate the new and existing improvements. In addition, all existing parking areas will be upgraded to concrete. When the applicant approached staff about the expansion, staff explained to the applicant that, since the *Church/House of Worship* land use is not a permitted *by-right* land use in the Agricultural (AG) District, the church could [1] apply to the Board of Adjustments (BOA) to allow for the expansion of a legally non-conforming land use, [2] apply for a Specific Use Permit (SUP) to bring the land use into conformance with the requirements of the Agricultural (AG) District, or [3] rezone the property to a Commercial (C) District in conformance with the *Future Land Use Map*. Staff also explained to the applicant that since the church indicated a future expansion on their concept plan, rezoning the subject property to a Commercial (C) District -- *which allows the Church/House of Worship land use by-right* -- would best way to facilitate this plan. This is because the other two (2) methods (*i.e. Board of Adjustments [BOA] request or Specific Use Permit [SUP]*) would require subsequent discretionary applications to be submitted to either the Board of Adjustments (BOA) or the Planning and Zoning Commission and City Council. Regardless, all methods would require the approval of a site plan prior to a building permit.

INFRASTRUCTURE

Based on the applicant's submittal the following infrastructure will be required to be installed with the proposed improvements depicted on the concept plan:

Water Improvements: The Master Water Plan indicates that the subject property is located within Water Service Area 780 which is not currently serviced by the City of Rockwall. This service area is currently being served by the Blackland Water Supply Corporation (WSC). As a result, the applicant will be required to contact Blackland WSC in order to determine if the property can be serviced, and if sufficient flow can be provided for fire service.

Wastewater Improvements: The Master Wastewater Plan indicates that there is no wastewater infrastructure in the vicinity of the subject property. There are no immediate plans for the City to install infrastructure in this area, and, *as a result*, the applicant will need to provide an On-Site Sewage Facility (OSSF) meeting Rockwall County's standards.

Stormwater Improvements: On-site detention will be required to accommodate any increases in stormwater runoff when the proposed future development occurs.

Roadways: According to the Master Thoroughfare Plan, SH-276 is indicated as a TXDOT6D (*i.e. Texas Department of Transportation, six [6] lane, divided roadway*), which requires a minimum of 120-foot right-of-way and no on-street parking. The applicant will be required to dedicate all portions of the subject property that are within 60-feet of the centerline of SH-276 at the time the subject property is platted.

All proposed infrastructure improvements must meet the Engineering Department's *Standards of Design and Construction Manual*.

CONFORMANCE WITH THE CITY'S CODES

When developed the subject property will be required to conform to all requirements of the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, and City adopted engineering and fire codes. Staff will review for conformance to these requirements at the time of site plan.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the South Central Estates District and is designated for Quasi-Public (QP) land uses. The South Central Estates District indicates that all the land surrounding the subject property is designated for Commercial/Retail or Technology/Employment Center land uses. The applicant's request, to change the zoning of the subject property from an Agricultural (AG) District to a Commercial (C) District, is in conformance with the South Central Estates District and the proposed land use does not necessitate a change to the Future Land Use Map designation for the subject property from the Quasi-Public (QP) designation.

NOTIFICATIONS

On November 18, 2020, staff notified 13 property owners and occupants within 500-feet of the subject property. There are no Homeowners Association's (HOA's)/Neighborhood Associations within 1,500-feet of the subject property participating in the HOA/Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had not received any notices regarding the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an *Agricultural (AG) District* to a *Commercial (C) District*, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 23020-052

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☒ Zoning Change (\$200.00 + \$15.00 Acre)¹ \$259.10
- ☐ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 5651 SH 276

Subdivision UNPLATTED Lot _____ Block _____

General Location S. SIDE SH 276 JUST EAST OF SOUTHERN DRIVE

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning AG Current Use CHURCH / WAREHOUSE

Proposed Zoning C - COMMERCIAL Proposed Use CHURCH

Acreage 3.94 Lots [Current] 1 Lots [Proposed] 1

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner <u>ROCKWALL FRIENDSHIP BAPTIST CHURCH</u>	<input type="checkbox"/> Applicant <u>TOMDEN ENGINEERING, LLP</u>
Contact Person <u>SHANNON THOMAS</u>	Contact Person <u>THOMAS JONES</u>
Address <u>5651 SH 276</u>	Address <u>5815 MEADOWCREST</u>
City, State & Zip <u>ROYSE CITY TX 75189</u>	City, State & Zip <u>DAHAS TX 75230</u>
Phone <u>469. 338. 8151</u>	Phone <u>214. 679. 1679</u>
E-Mail <u>STHOMAS@ROCKWALLFBC.ORG</u>	E-Mail <u>TJONES@TOMDEN.COM</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Shannon Thomas [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 259.10, to cover the cost of this application, has been paid to the City of Rockwall on this the 10th day of November, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

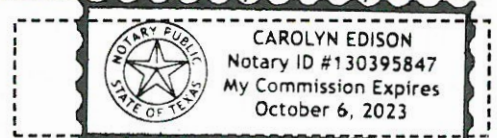
Given under my hand and seal of office on this the 10th day of November, 20 20.

Owner's Signature

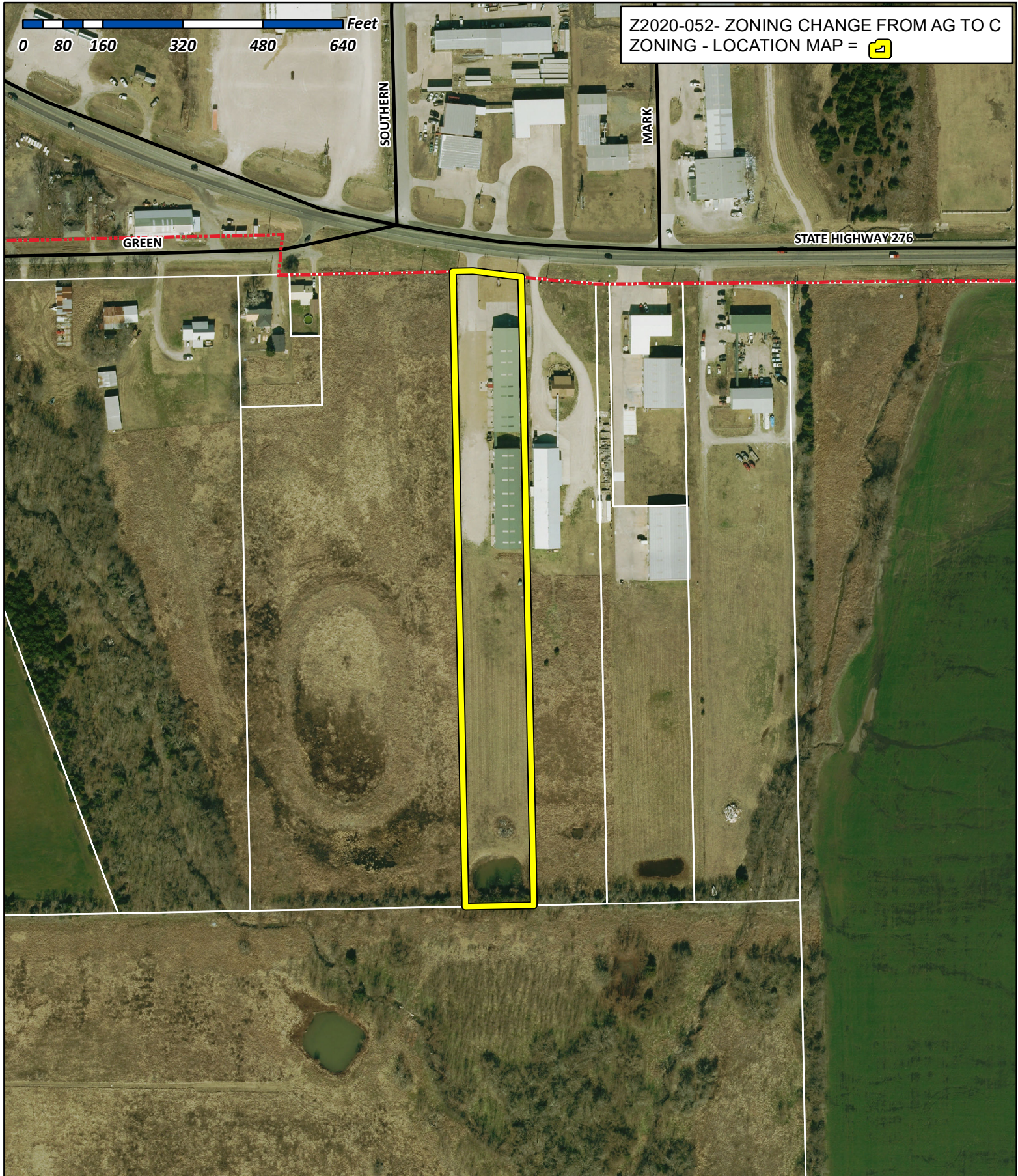
[Signature]

Notary Public in and for the State of Texas

[Signature] Carolyn Edison



My Commission Expires October 6, 2023



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

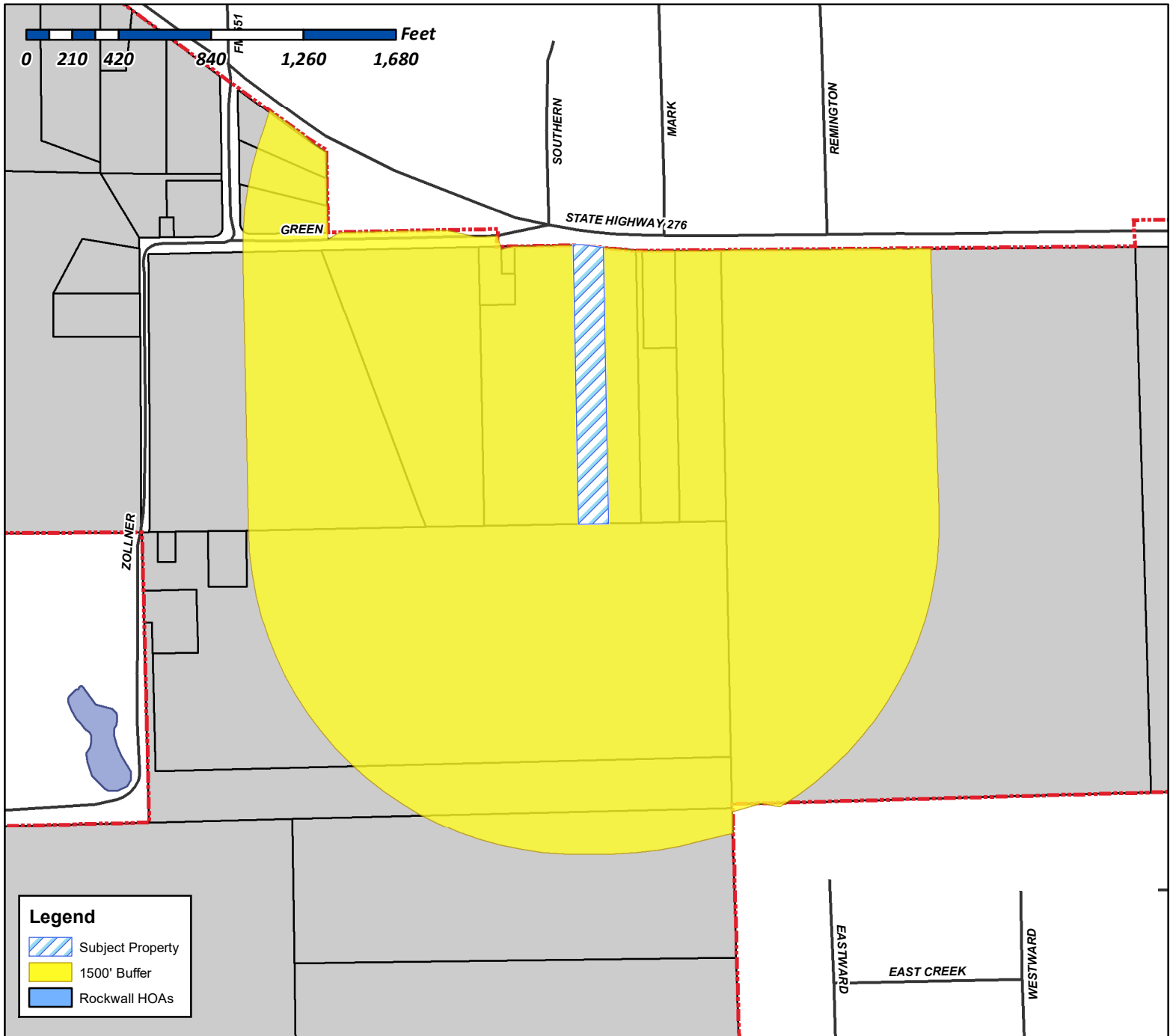




City of Rockwall

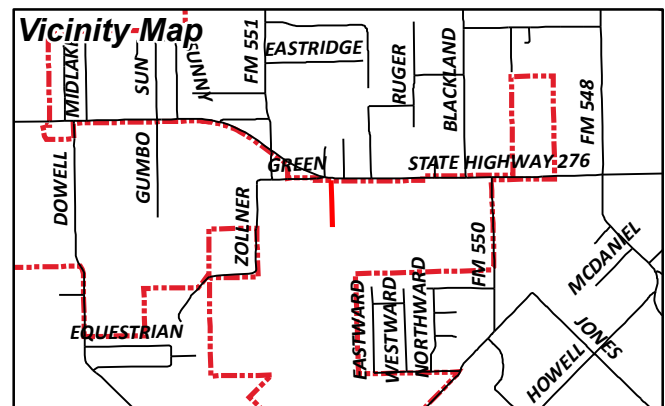
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Case Number: Z2020-052
Case Name: Zoning Change from AG to C
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 5651 State Highway 276

Date Created: 11/13/2020
For Questions on this Case Call (972) 771-7745





City of Rockwall

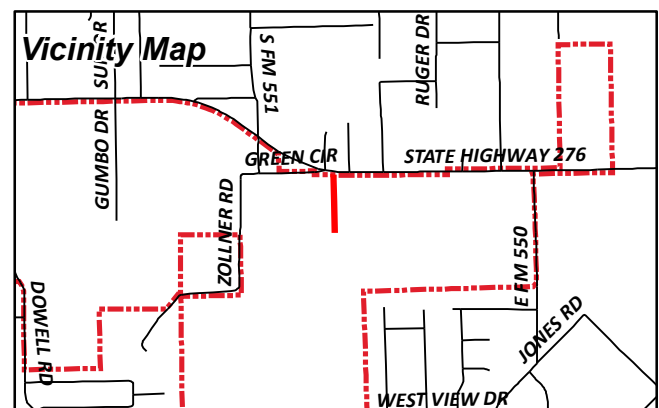
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-052
Case Name: Zoning Change from AG to C
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 5651 State Highway 276

Date Created: 11/13/2020
For Questions on this Case Call (972) 771-7745



JIMENEZ TOMAS
4930 CREEKRIDGE LANE
GARLAND, TX 75043

THOMPSON JAMES
ZOLLNERRD
ROCKWALL, TX 75087

LIMON LORENZO & MARIANA
2305 STANFORD ST
GREENVILLE, TX 75401

ENRIQUEZ MARIA AND UBALDO
450 GREEN CIRCLE
ROYSE CITY, TX 75189

LIMON LORENZO & MARIANA
490 GREEN CR
ROCKWALL, TX 75087

VALDESPINO JUAN R & MARGARITA
506 GREEN CIRCLE
ROYSE CITY, TX 75189

JIMENEZ TOMAS
4930 CREEKRIDGE LANE
5651 GREENCIR
ROCKWALL, TX 75087

MULLEN ADVENTURES LLC
5677 STATE HIGHWAY 276
ROYSE CITY, TX 75189

JAY & PAM PROPERTIES LLC
5707 STATE HIGHWAY 276
ROYSE CITY, TX 75189

SIGN OF QUALITY LLC
5707 STATE HIGHWAY 276
ROYSE CITY, TX 75189

HASHERT TERRY
5751 STATE HIGHWAY 276
ROYSE CITY, TX 75189

THOMPSON JAMES
811 TRINIDAD PL
MIDLAND, TX 79705

ASBURY MICHAEL & LEAANN
PO BOX 1012
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-052: Zoning Change from AG to C

Hold a public hearing to discuss and consider a request by Thomas Jones of Tomden Engineering, LLP on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5651 SH-276, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-052: Zoning Change from AG to C

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:	
Address:	

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Thomas P. Jones, P.E.

Tomden Engineering, L.L.P.
5815 Meadowcrest
Dallas, Tx 75230
tjones@tomden.com

November 11, 2020

Mr. Ryan Miller, AICP
Director of Planning and Zoning
City of Rockwall

Re: Rockwall Friendship Baptist Church
Zoning Letter of Explanation

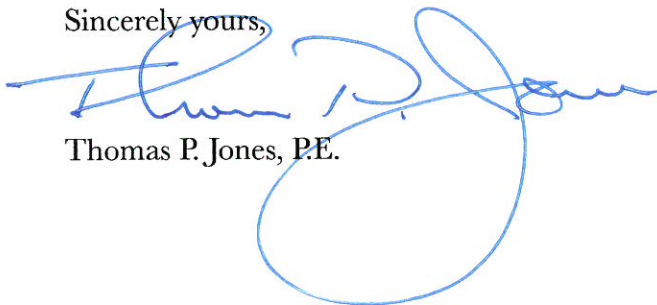
Dear Mr. Miller

Rockwall Friendship Baptist Church has purchased the property at 5651 SH 276 with the intent to expand their facilities on the site and construct a 3500 sf addition on the property. As a part of this process, the Church proposes to change the zoning on the property from Ag (agricultural) to C (commercial) in which the religious use is allowed by right.

A Survey of the 3.94 acre tract and Architectural Site Plan have been included with this Zoning Request.

We look forward to staff review and a favorable action at P&Z and Council. Please call or email me with any questions you may have.

Sincerely yours,

A handwritten signature in blue ink, appearing to read 'Thomas P. Jones', with a large, stylized circular flourish underneath.

Thomas P. Jones, P.E.

cc: Pastor Shanon Thomas

Mr. Dirk Dalhausser, Goff Companies

Mr. Josh Heimbach, OWT Architects

All that certain lot, tract or parcel of land situated in the J.H. BAILEY SURVEY, ABSTRACT NO. 22, Rockwall County, Texas, and being a part of that 47.10 acres tract of land as described in a Warranty deed from Billie Marie Peoples to Michael L. Peoples and Donnie B. Peoples, dated February 2, 1996 and being recorded in Volume 1084, Page 266 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

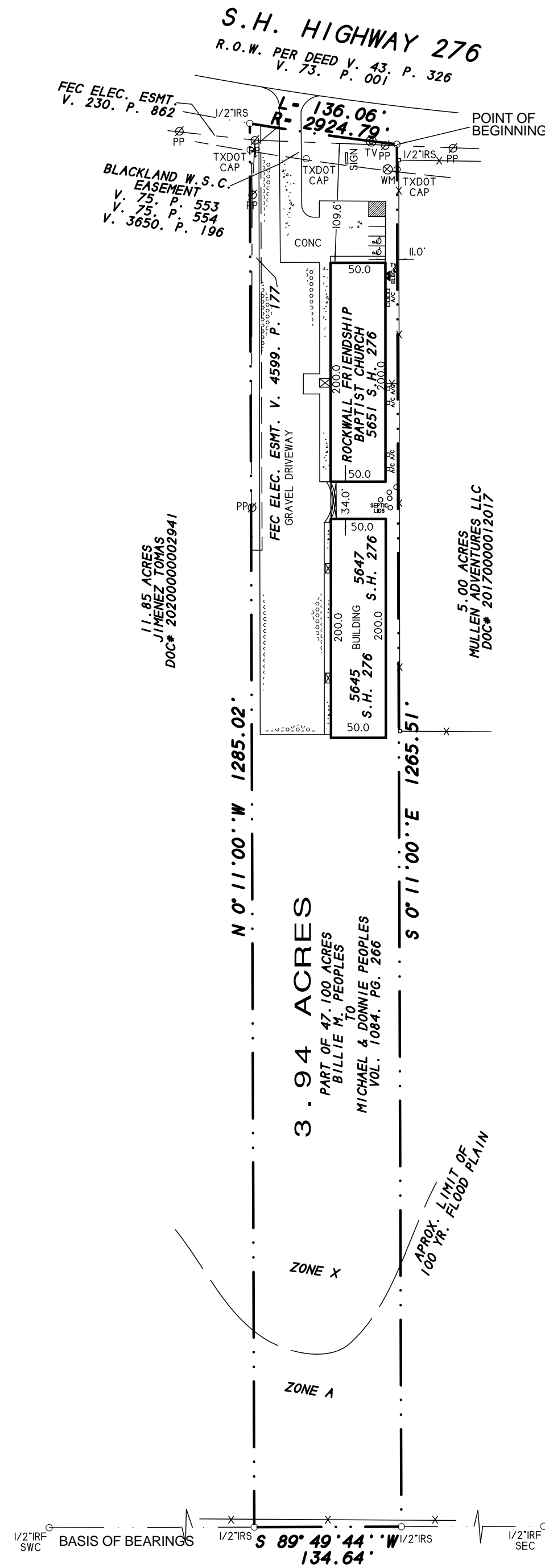
BEGINNING at a 1/2" iron rod found for corner, said point being N. 89 deg. 50 min. 18 sec. W., 223.09 feet and along a curve to the right having a central angle of 06 deg. 34 min. 58 sec., a radius of 2924.79 feet, a chord of N. 86 deg. 32 min. 49 sec. W., 335.85 feet, and an arc distance of 336.03 feet from a 3/8" iron rod found at the Northeast corner of the above cited tract, said point being in the South right-of-way line of State Highway 276;

THENCE S. 00 deg. 11 min. 00 sec. E. parallel to the East line of said tract, a distance of 1265.51 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. RPLS 5034" for corner in the South line of said tract;

THENCE S. 89 deg. 49 min. 44 sec. W. along the South line of said tract, a distance of 134.64 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. RPLS 5034" for corner;

THENCE N. 00 deg. 11 min. 00 sec. W. a distance of 1285.02 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. RPLS 5034" for corner in the South right-of-way line of State Highway 276 and in the North boundary line of said 47.10 acres tract;

THENCE in a Southeasterly direction along a curve to the left having a central angle of 02 deg. 39 min. 56 sec., a radius of 2924.79 feet, a chord of S. 81 deg. 55 min. 22 sec. E., 136.05 feet, along said right-of-way line an arc distance of 136.06 feet to the POINT OF BEGINNING and containing 3.94 acres of land.



DESCRIPTION

All that certain lot, tract or parcel of land situated in the J.H. BAILEY SURVEY, ABSTRACT NO. 22, Rockwall County, Texas, and being a part of that 47.10 acres tract of land as described in a Warranty deed from Billie Marie Peoples to Michael L. Peoples and Donnie B. Peoples, dated February 2, 1996 and being recorded in Volume 1084, Page 266 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

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NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0065 L dated Sept. 26, 2008, this property lies in Zones A & X. Part of this property does appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: BASED ON MONUMENTS FOUND ON SOUTH BOUNDARY LINE OF PARENT TRACT PER RECORDED DEED IN VOL. 0084, PG. 266, R.P.R.R.C.T..
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Rockwall Friendship Baptist Church at 5651 State Highway No. 276, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 31st day of August, 2020.

Harold D. Fetty III, R.P.L.S. No. 5034

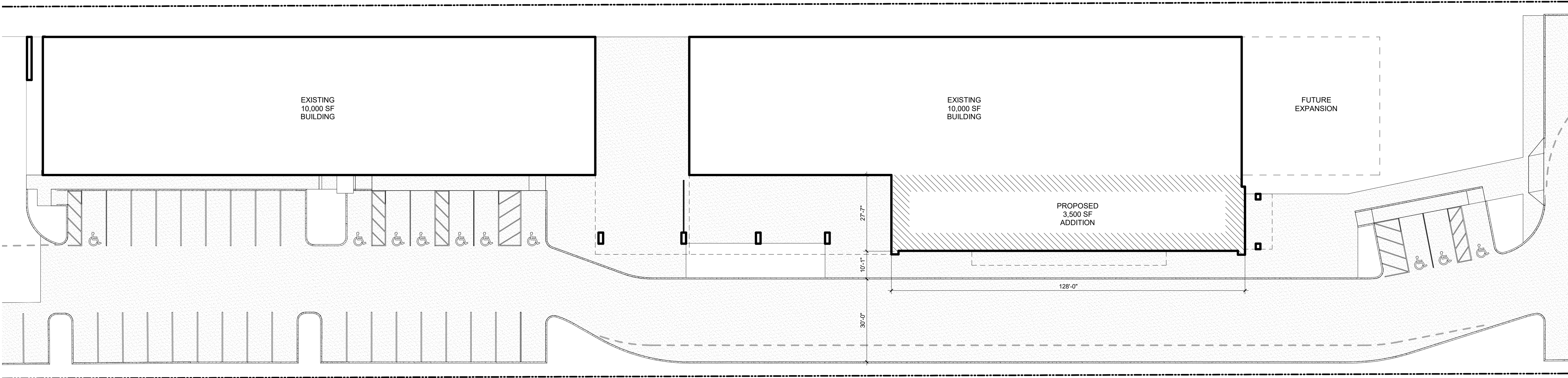


SYMBOL LEGEND									
TV	GAS	TEL	FI	FF					
TELEVISION	GAS	TEL	FI	FF					
CABLE RIGER	METER	RIGER	HYDRANT	POLE					
ELEC	ELEC	WY	LP	1/2" IRF					
ELECTRIC	ELECTRIC	WIRE BOX	POLE	IRON ROD FOUND					
JUNCTION BOX	JUNCTION BOX	JUNCTION BOX	JUNCTION BOX	JUNCTION BOX					
FENCE	EXISTING LINE	PROPERTY LINE	PROPERTY LINE	PROPERTY LINE					

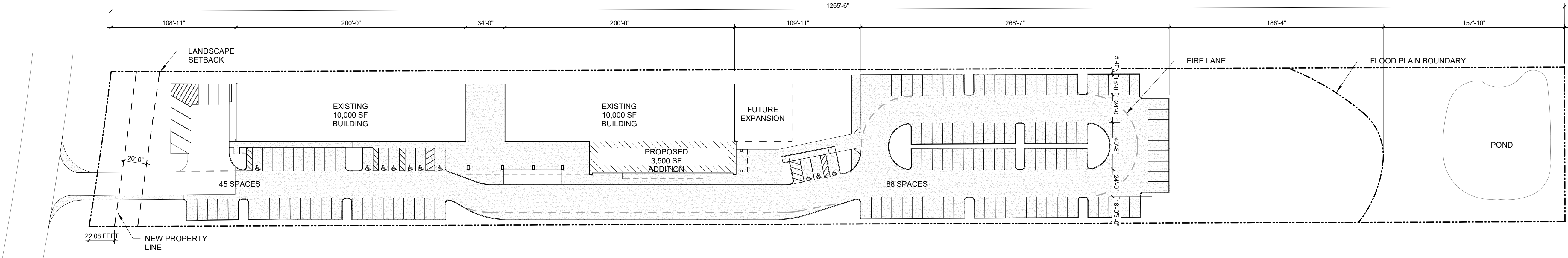
SURVEY DATE AUGUST 31, 2020
SCALE 1" = 100' FILE # 2020/98729-5
CLIENT RFBC GF # NONE

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 10150900
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



SITE PLAN | 2
SCALE: 1" = 20'-0" A1.00



SITE PLAN | 1
SCALE: 1" = 50'-0" A1.00

OCTOBER 29, 2020

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, PREPARED BY OXLEY WILLIAMS THARP ARCHITECTS, PLLC ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. THIS INCLUDES DOCUMENTS IN ELECTRONIC FORM. OXLEY WILLIAMS THARP ARCHITECTS, PLLC SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. THE INSTRUMENTS OF SERVICE SHALL NOT BE USED BY THE OWNER FOR FUTURE ADDITIONS OR ALTERATIONS TO THIS PROJECT OR FOR OTHER PROJECTS, WITHOUT THE PRIOR WRITTEN AGREEMENT OF OXLEY WILLIAMS THARP ARCHITECTS, PLLC. ANY UNAUTHORIZED USE OF THE INSTRUMENTS OF SERVICE SHALL BE WITHOUT LIABILITY TO OXLEY WILLIAMS THARP ARCHITECTS, PLLC AND ITS CONSULTANTS.

Revision Schedule		
Rev. #	Revision Description	Revision Date

OWT ARCHITECTS

509 PECAN STREET
SUITE 100
FORT WORTH, TX 76102
817.993.9844
www.owtarchitects.com

ROCKWALL
FRIENDSHIP

5651 TC-276
ROYSE CITY, TX 75189

2020-013-00
OCTOBER 29, 2020

SITE PLAN

A1.00

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A COMMERCIAL (C) DISTRICT ON A 3.94-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1-8 OF THE J. H. BAILEY SURVEY, ABSTRACT NO. 22, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND FURTHER DESCRIBED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Thomas Jones of Tomden Engineering, LLP for a change in zoning from an Agricultural (AG) District to a Commercial (C) District on a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, and more fully depicted in *Exhibit 'A'* and described in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from a Agricultural (AG) District to a Commercial (C) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Commercial (C) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses* and Section 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the

zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

Exhibit 'A'
Zoning Exhibit

Legal Description: Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22



Exhibit 'B'
Legal Description

All that certain lot, tract or parcel of land situated in the J.H. BAILEY SURVEY, ABSTRACT NO. 22, Rockwall County, Texas, and being a part of that 47.10 acres tract of land as described in a Warranty deed from Billie Marie Peoples to Michael L. Peoples and Donnie B. Peoples, dated February 2, 1996 and being recorded in Volume 1084, Page 266 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

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THENCE S. 00 deg. 11 min. 00 sec. E. parallel to the East line of said tract, a distance of 1265.51 feet to a 1/2" iron rod set with yellow plastic cap stamped "R.S.C.I. R.PLS 5034" for corner in the South line of said tract;

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THENCE in a Southeasterly direction along a curve to the left having a central angle of 02 deg. 39 min. 56 sec., a radius of 2924.79 feet, a chord of S. 81 deg. 55 min. 22 sec. E., 136.05 feet, along said right-of-way line an arc distance of 136.06 feet to the POINT OF BEGINNING and containing 3.94 acres of land.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: December 8, 2020

APPLICANT: David Meinhardt; *Meinhardt & Associates, PLLC*

CASE NUMBER: Z2020-053; *Zoning Change (LI to PD) for Channell Commercial Corporation*

SUMMARY

Hold a public hearing to discuss and consider a request by David Meinhardt of Meinhardt & Associates, PLLC on behalf of Ed Burke of Channell Commercial Corporation for the approval of a Zoning Change from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on September 16, 1974 by *Ordinance No. 74-25 (Case No. A1974-005)*. Based on the May 7, 1993 historic zoning maps, between the time of annexation and May 7, 1993 the subject property was rezoned from an Agricultural (AG) District to a Light Industrial (LI) District. On March 17, 2014 the City Council approved a final plat (*Case No. P2014-008*) establishing Lot 1, Block A and Lot 1, Block B, Channell Subdivision. This request was made by the Rockwall Economic Development Corporation (REDC) to help facilitate the relocation of the corporate headquarter for the Channell Commercial Corporation to the City of Rockwall. The Channell Commercial Corporation is a manufacturing company that provides communication/fiber products to the telecommunications industry. On July 8, 2014, the Planning and Zoning Commission approved a site plan (*Case No. SP2014-011*) for a 225,910 SF manufacturing and office building on the 18.762-acre subject property. This approval was followed by subsequent approvals associated with the site plan from the City Council on July 21, 2014 that included variances to the parking, building materials, and light pole height requirements, and a special exception to allow tilt wall construction. On September 17, 2014, the City Council approved a replat (*Case No. P2014-038*) of the subject property establishing the easements necessary for the construction of the proposed 225,910 SF industrial facility. A building permit (*Permit No. BLD2014-1600*) for this building was issued by the Building Inspection Department on November 21, 2014, and a Certificate of Occupancy (CO) for the building was issued on April 12, 2016.

An amendment to the approved site plan (*Case No. SP2014-011*) was approved by the City Council on May 16, 2016. This amended the approved site plan to allow an alternative landscape plan, and allowed the applicant to defer the installation of the landscaping along John King Boulevard until after the Texas Department of Transportation (TXDOT) assumed responsibility for John King Boulevard. A subsequent site plan (*Case No.'s SP2019-021 [withdrawn] and SP2019-045*) -- *which was approved on December 10, 2019* -- established screening for the outside storage areas on the north side of the existing building, realigned the western drive aisle, and laid out additional parking areas. A final amended site plan (*Case No. SP2020-011*) was submitted and approved by the Planning and Zoning Commission on July 14, 2020. This site plan proposed additional screening standards for the outside storage areas adjacent to Justin Road and the incorporation of an eight (8) foot concrete wall adjacent to Justin Road.

More recently, William Channell Jr.-- *the President and Chief Operating Officer of Channell Commercial Corporation* -- approached staff about expanding the facility to create a corporate campus. As part of this request, Mr. Channell indicated that the proposed expansion would include an additional ~55,760 SF building, an amphitheater, and pavilion. Based on staff's conversations with Mr. Channell it was determined that the best way to facilitate this request was through a Planned Development District.

PURPOSE

On November 13, 2020, the applicant -- *David Meinhardt of Meinhardt & Associates, LLP* -- submitted an application requesting to change the zoning of the subject property from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses. More specifically, the purpose of the application is to facilitate a campus style, industrial development that incorporates elements that fall outside of the requirements of the Light Industrial (LI) District.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1700 Justin Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a ~231,768 SF industrial building (*i.e. Graham Packaging PET Technologies, Inc.*) -- constructed in 1991 -- on a 12.1915-acre parcel of land (*i.e. Rockwall Industrial East Addition*) zoned Light Industrial (LI) District. Beyond this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland N. E. Railroad*. North of this right-of-way is the City's Service Center, which is situated on a ten (10) acre parcel of land (*i.e. Lot 1 of the Rockwall Service Center & Park Addition*) zoned Light Industrial (LI) District. Adjacent to this is the Leon Tuttle Athletic Complex, which is situated on a 20-acre parcel of land (*i.e. Lot 2 of the Rockwall Service Center & Park Addition*) zoned Light Industrial (LI) District.

South: Directly south of the subject property is Justin Road, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 15.554-acre parcel of vacant land (*i.e. Lot 1, Block B, Channell Subdivision*) and a 25.719-acre tract of vacant land (*i.e. Tract 3 of the J. Lockhart Survey, Abstract No. 134*). Both of these properties are zoned Light Industrial (LI) District.

East: Directly east of the subject property is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this thoroughfare is a 4.108-acre tract of vacant land (*i.e. Tract 2-7 of the D. Harr Survey, Abstract No. 102*) owned by the City of Rockwall and zoned Agricultural (AG) District. East of this is a 6.034-acre tract of vacant land (*i.e. Tract 2-4 of the D. Harr Survey, Abstract No. 102*) zoned Light Industrial (LI) District.

West: Directly west of the subject property is a ~231,768 SF industrial building (*i.e. Graham Packaging PET Technologies, Inc.*) -- constructed in 1991 -- on a 12.1915-acre parcel of land (*i.e. Rockwall Industrial East Addition*) zoned Light Industrial (LI) District. Also, west of the subject property is Industrial Boulevard, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a ~175,875 SF industrial building (*i.e. SPR Packaging*) -- constructed in 2007 -- on a 10.1893-acre parcel of land (*i.e. Lot 2, Block A, SPR Packaging Addition*) zoned Light Industrial (LI) District.

CHARACTERISTICS OF THE REQUEST

According to Subsection 01.01, *Purpose*, of Article 11, *Planned Development Regulations*, of the Unified Development Code (UDC), "PD Districts are intended to implement the goals and objectives of the City's Comprehensive Plan ... PD Districts are also intended to encourage flexible and creative planning, to ensure the compatibility of land uses, and to allow for the adjustment of changing demands to meet the current needs of the community by meeting one or more of the following purposes: [1] To provide for superior design of lots or buildings; [2] To provide for increased recreation and/or open space opportunities for public use; {and} [3] To provide amenities or features that would be of special benefit to the property users or community; ..." In this case, the applicant is proposing to incorporate an amphitheater and pavilion adjacent to John King Boulevard, construct an additional ~55,760 SF industrial building adjacent to the existing ~225,910 SF corporate headquarters/manufacturing building, and install canopies in the courtyard, parking areas and over the amphitheater. Due to the size and range of the proposed amenity that the applicant is proposing to incorporate into the overall campus design, staff found that the request could be best regulated through a Planned Development District. If approved, this tool would allow the applicant a flexible approval process that would allow the project to be built within his stated timelines, while still providing the City with the necessary oversight for the development to ensure that the public's interest is being served. The Planned

Development District ordinance -- *contained in the attached packet* -- establishes a base zoning of Light Industrial (LI) District, which is the same as the subject property's current zoning; however, a couple of additional requirements were added to allow the applicant the same flexibilities that have been approved through previous site plans (*i.e. the location of the eight [8] foot smooth finished concrete walls along Justin Road*) and changes to accommodate the proposed pavilion and amphitheater. These requirements are detailed below in the *Conformance to the City's Codes* section of this case memo. In addition, staff has outlined how the proposed changes conform to the goals and objectives of the Comprehensive Plan in the *Conformance with the OURHometown Vision 2040 Comprehensive Plan* section below.

INFRASTRUCTURE

Based on the applicant's concept plan no new additional public infrastructure will be required; however, a small portion of the subject property -- *at the corner of Justin Road and Industrial Boulevard* -- will require detention.

CONFORMANCE TO THE CITY'S CODES

The proposed Planned Development District conforms to the majority of the City's code requirements. Staff should note that the proposed concept plan, building elevations, and landscape plan adhere to the previous site plan, variance, and special exception approvals, which waived some of the code requirements and established a specific aesthetic for the subject property. The applicant's plans maintain this aesthetic, and as a result do not increase the sites non-conformity; however, the proposed Planned Development District does deviate from the requirements of the Unified Development Code (UDC) in the following ways:

- (1) *John King Boulevard Setback Requirements*. The SH-205 By-Pass Overlay (SH-205 BY OV) District establishes a 50-foot building setback for all industrial, office, and technology land uses adjacent to John King Boulevard [*Subsection 06.02(D); Article 05; UDC*]. The proposed Planned Development District ordinance would reduce this setback to 20-feet.

Applicant's Response: In this case, the reduction in setback is to accommodate the proposed outdoor amphitheater and its appurtenances (*i.e. masonry walls and canopy support structure*), which will be situated approximately 25-feet from the front property line. The applicant has pointed out that [1] no enclosed buildings are proposed to be located within the current 50-foot building setback, and [2] the overlay district does allow commercial/retail buildings to be located within 15-feet of the front property line adjacent to John King Boulevard. Staff should also point out that the proposed pavilion would be constructed beyond the current 50-foot building setback, and only the amphitheater would encroach the current building setback.

- (2) *Justin Road Setback Requirements*. Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), stipulates that the front yard building setback for all properties in a Light Industrial (LI) District be a minimum of ~25-feet. The proposed Planned Development District ordinance would reduce this setback to ten (10) feet.

- (3) *Front Yard Fences for Non-Residential Properties*. According to Subsection 08.04, *Non-Residential Fences*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(n)o fence shall be constructed in the front yard of a non-residential property without being granted an exception from the Planning and Zoning Commission." This section goes on to stipulated that front yard fences should be constructed with wrought iron or another permitted non-transparent fencing, and that fences should not be opaque. The proposed Planned Development District ordinance would allow an eight (8) foot smooth finished concrete wall be situated within the front yard along both Justin Road and portions of John King Boulevard.

Applicant's Response to (2) & (3): This is being requested for the purpose of allowing the same eight (8) foot smooth finish concrete walls in roughly the same location along Justin Road as was approved by the Planning and Zoning Commission with *Case No. SP2020-011*.

- (4) *Site Plan Review*. Section 03, *Site Plans*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), requires: [1] all new buildings proposed in the City of Rockwall, [2] expansions to existing buildings that increases the floor area by 30% or 2,000 SF, and/or [3] expansions of existing pervious space by 30% or 2,000 SF be required to go through the site plan approval process. In most cases where a site plan is required the Planning

and Zoning Commission is the approving authority with regard to site plan approval, variances, and special exceptions (*with the City Council acting only as an appeals board*). In addition, all new buildings require a recommendation from the Architectural Review Board (ARB) prior to action on the site plan by the Planning and Zoning Commission. The proposed Planned Development District ordinance would allow the Director of Planning and Zoning the ability to review the submitted materials, and determine if they conform to the exhibits in the proposed Planned Development District ordinance. If it is determined that the exhibits do conform to the ordinance, then the site plan may be reviewed and approved administratively by staff. If it is determined that the exhibits do not conform, then the Planning and Zoning Commission would be the approving body for a site plan.

Applicant's Response: The applicant has requested this consideration to provide the project with flexibility when moving through the approval process. The applicant currently has a timeline that he would like to adhere to and is requesting the ability to have administrative approval for site plan submittals to help them meet their anticipated completion dates.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Central District and is designated for Technology/Employment Center land uses on the Future Land Use Plan. The current land use (*i.e. a corporate office/industrial/manufacturing facility*) is in conformance with this designation and the district strategies outlined for the Central District. In addition, the proposed changes do not change the subject property's conformance with the Comprehensive Plan.

In addition, the proposed changes to the subject property help further the following goals and objectives contained in the OURHometown Vision 2040 Comprehensive Plan:

- (1) CH. 07 / Goal 02: Create distinctive destinations built around the City's existing assets that invite people into the community and encourage social interaction ... [*Policy 1*] Explore opportunities to incorporate public open spaces into commercial and industrial developments.
- (2) CH. 07 / Goal 05: Allow only high-quality buildings that are constructed for the long-term value of the community, are easily adaptable to the changing market conditions, and that reflect a sense of permanence and public pride ... [*Policy 1*] All building should be architecturally significant, reflecting characteristics of the community.
- (3) CH. 08 / Goal 01: All non-residential developments should create distinctive destinations that further a sense of place and will attract people to the community ... [*Policy 3*] Developments should be encouraged to incorporate a mix of land uses. This is especially vital adjacent to the City's major roadways (*i.e. IH-30, Ridge Road, Goliad Street and John King Boulevard*).
- (4) CH. 08 / Goal 03: All non-residential buildings should be designed so that negative visual impacts of the development are minimized ... [*Policy 1*] Large industrial developments should utilize a campus design style (*i.e. utilizing green spaces adjacent to roadways, incorporating pedestrian scale elements throughout the development, assimilating functional green spaces into the development, using traditional architecture characteristics, etc.*) to further the small-town, park-like feeling that is characteristic of the City of Rockwall.

In this case, the campus style design that the applicant is proposing allows more intense aspects of the business to be shielded from the adjacent roadways and softens the look of the building from John King Boulevard. Based on this, the applicant's proposal appears to be in substantial conformance to many of the policies and goals that relate to industrial/technology developments; however, a request for a Planned Development District ordinance is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On November 18, 2020, staff mailed 13 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOA's) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised

the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices concerning the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained in the Planned Development District ordinance;
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-053

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *[Signature]*

CITY ENGINEER: *[Signature]*

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☐ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☒ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address: 1700 JUSTIN ROAD

Subdivision: CHANNELL SUBDIVISION Lot: 3 Block: A

General Location: NORTHWEST CORNER OF JUSTIN ROAD & JOHN KING BLVD.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning: LIGHT INDUSTRIAL Current Use: LIGHT INDUSTRIAL

Proposed Zoning: SAME Proposed Use: SAME

Acreage: 18.762 Lots [Current]: 1 Lots [Proposed]: 1

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	CHANNELL CORPORATION	<input type="checkbox"/> Applicant	MEINHARDT & ASSOC. ARCH.
Contact Person	MR. ED BURKE	Contact Person	DAVID MEINHARDT
Address	1700 JUSTIN ROAD	Address	14643 DALLAS PARKWAY
			SUITE 636
City, State & Zip	ROCKWALL, TEXAS, 75087	City, State & Zip	DALLAS, TEXAS 75254
Phone	951-587-7884	Phone	972-934-5406
E-Mail	eburke@channell.com	E-Mail	dmeinhardt@m-aarch.com

NOTARY VERIFICATION [REQUIRED]

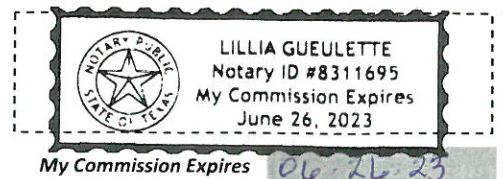
Before me, the undersigned authority, on this day personally appeared DAVID MEINHARDT [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 481.43, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of NOVEMBER, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13 day of NOVEMBER, 20 20.

Owner's Signature *[Signature]*

Notary Public in and for the State of Texas *[Signature]*





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

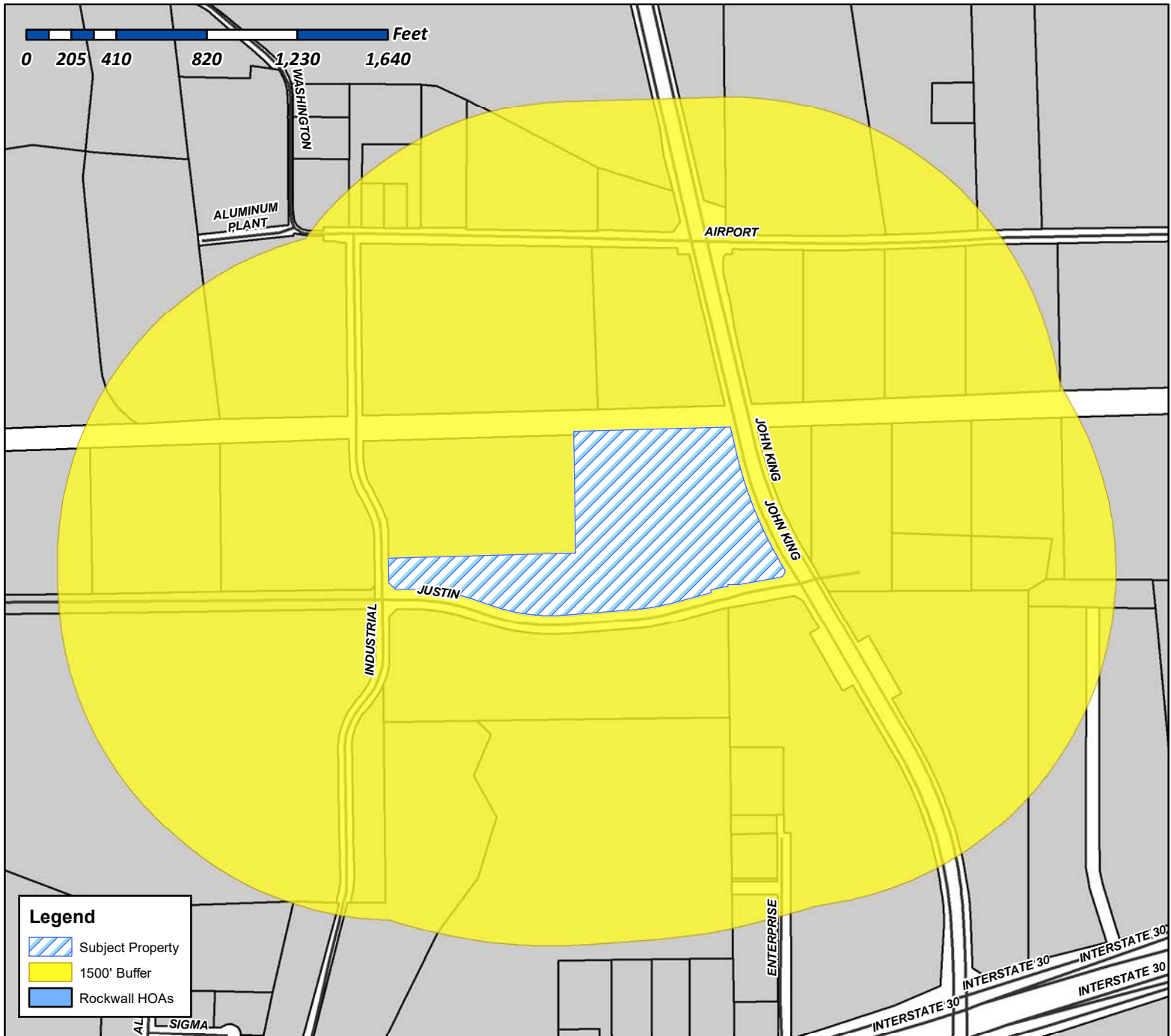
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City of Rockwall

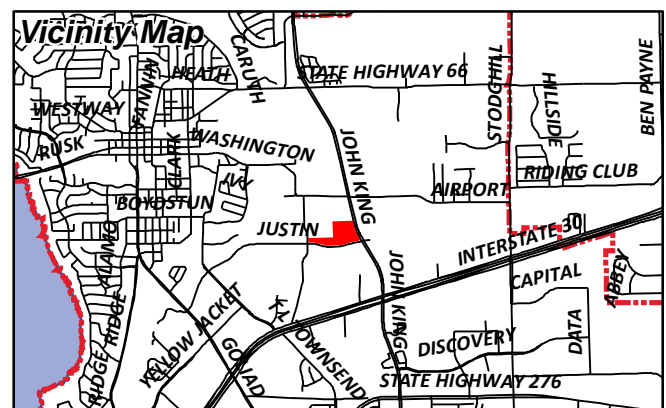
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-053
Case Name: Zoning Change from LI to PD
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1700 Justin Road

Date Created: 11/13/2020
For Questions on this Case Call (972) 771-7745

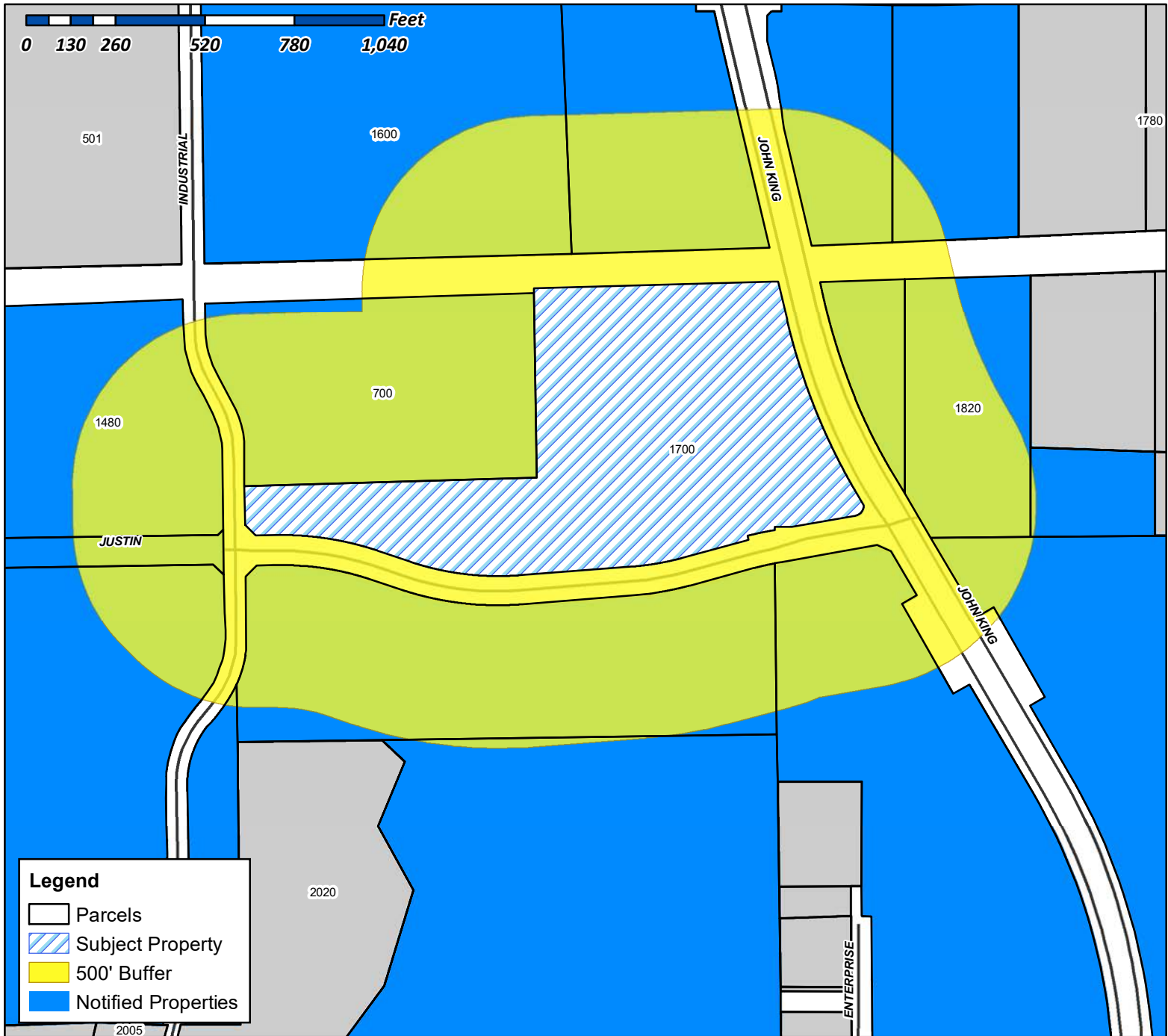




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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SMARTT LOFLAND & J BOND PTNRS
1 CARMARTHEN CT
DALLAS, TX 75225

SARO PARTNERS LLC
1450 T L TOWNSEND
ROCKWALL, TX 75032

ALVAPLAST US DEVELOPMENT LLC
1480 JUSTIN ROAD
ROCKWALL, TX 75087

WILLCAR HOLDINGS LLC
ATTN: WILLIAM H CHANNELL JR
1700 JUSTINRD
ROCKWALL, TX 75087

ROCKWALL FRIENDSHIP BAPTIST CHURCH
REV SHANON THOMAS, PASTOR
1820 JUSTINRD
ROCKWALL, TX 75087

TEMUNOVIC PARTNERSHIP LTD
3021 RIDGE RD SUITE A57
ROCKWALL, TX 75032

BACKWARDS L LLC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

ROCKWALL FRIENDSHIP BAPTIST CHURCH
REV SHANON THOMAS, PASTOR
5651 STATE HIGHWAY 276
ROYSE CITY, TX 75189

CONTINENTAL PET TECHNOLOGY
%GRAHAM PACKAGING PET TECH INC
700 INDIAN SPRINGS DR STE 100
LANCASTER, PA 17601

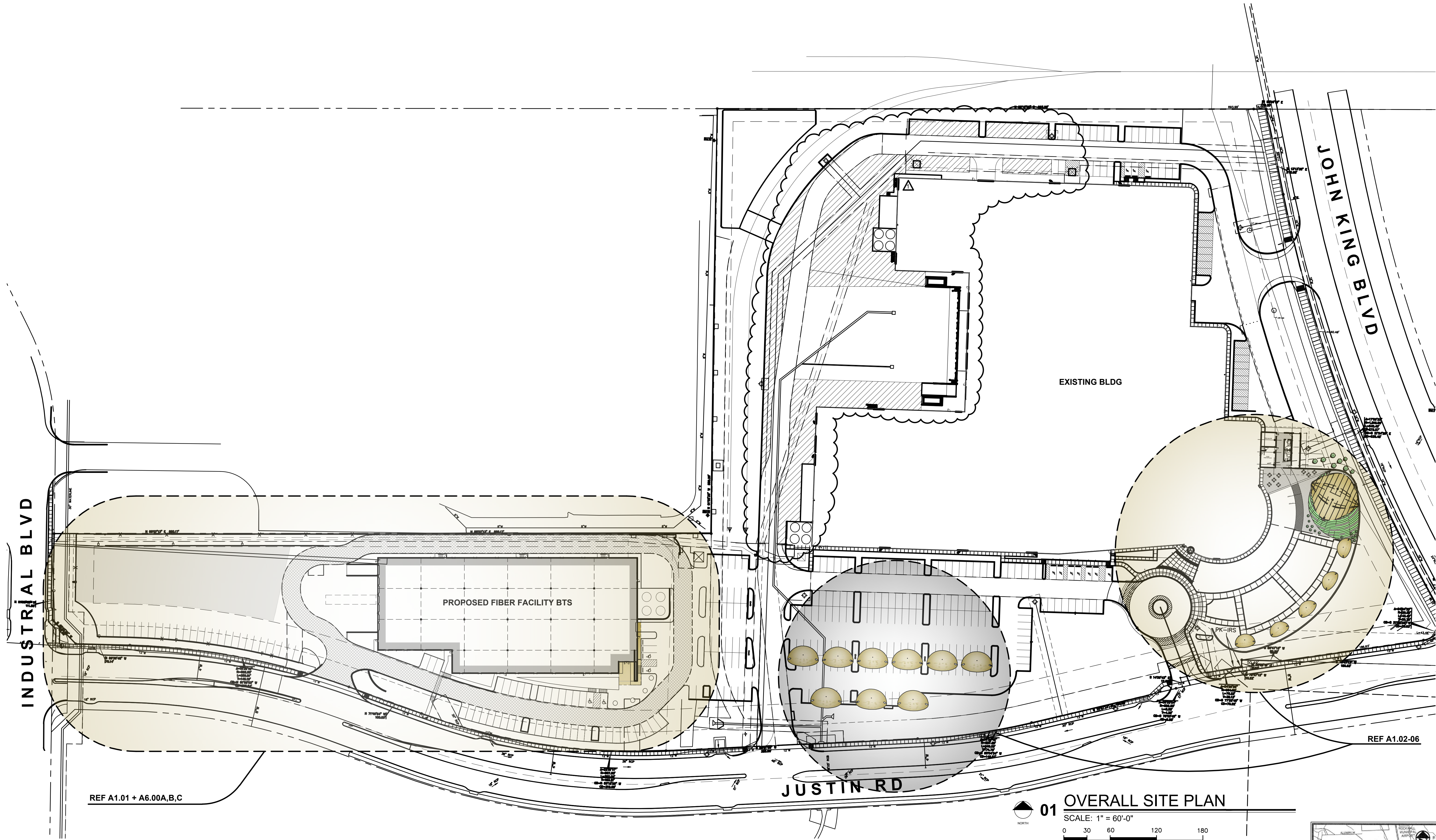
WILLCAR HOLDINGS LLC
ATTN: WILLIAM H CHANNELL JR
P O BOX 9022
TEMECULA, CA 92589

ATHEY JACKIE R
P.O. BOX 219
LAVON, TX 75166

ROCKWALL STEEL CO INC
PO BOX 729
TERRELL, TX 75160

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087

\\MA-SERVER-02\Projects\MISC\20205-CHANNELL Corp\CDs Shell\205-A100 Series.dwg, 12/1/2020 2:23:15 PM



REF A1.01 + A6.00A,B,C

EXISTING BLDG

PROPOSED FIBER FACILITY BTS

JOHN KING BLVD

JUSTIN RD

REF A1.02-06



01 OVERALL SITE PLAN

SCALE: 1" = 60'-0"

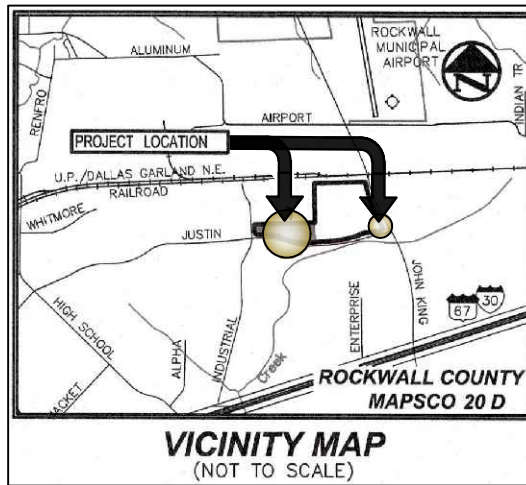
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GRAPHIC SCALE IN FEET

SITE DATA

PROPOSED LAND USE = INDUSTRIAL

PROPERTY BOUNDARY = 817,294 SF | 18.762 AC
PERIMETER BOUNDARY = 2073'-10 1/2" LENGHT
BUILDING FOOTPRINT = 55,760 SF + 817,294 SF = 6.8% LOT COVERAGE



OWNER | DEVELOPER
CHANNELL
26040 YNEZ ROAD | P.O. BOX 9022
TEMECULA, CA-USA 92589-9022
951-719-2600
BILL CHANNELL JR - bchannelljr@channell.com

CASE # Z2020-053

REVISIONS:
1 P&Z COMMENTS #1 12.01.20

CHANNELL CAMPUS IMPROVEMENTS

ROCKWALL, TEXAS

1700 JUSTIN ROAD



MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C

1840 DALLAS PARKWAY
SUITE 400
DALLAS TEXAS 75244
972.966.0880



12.01.2020

PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: SITE PLAN

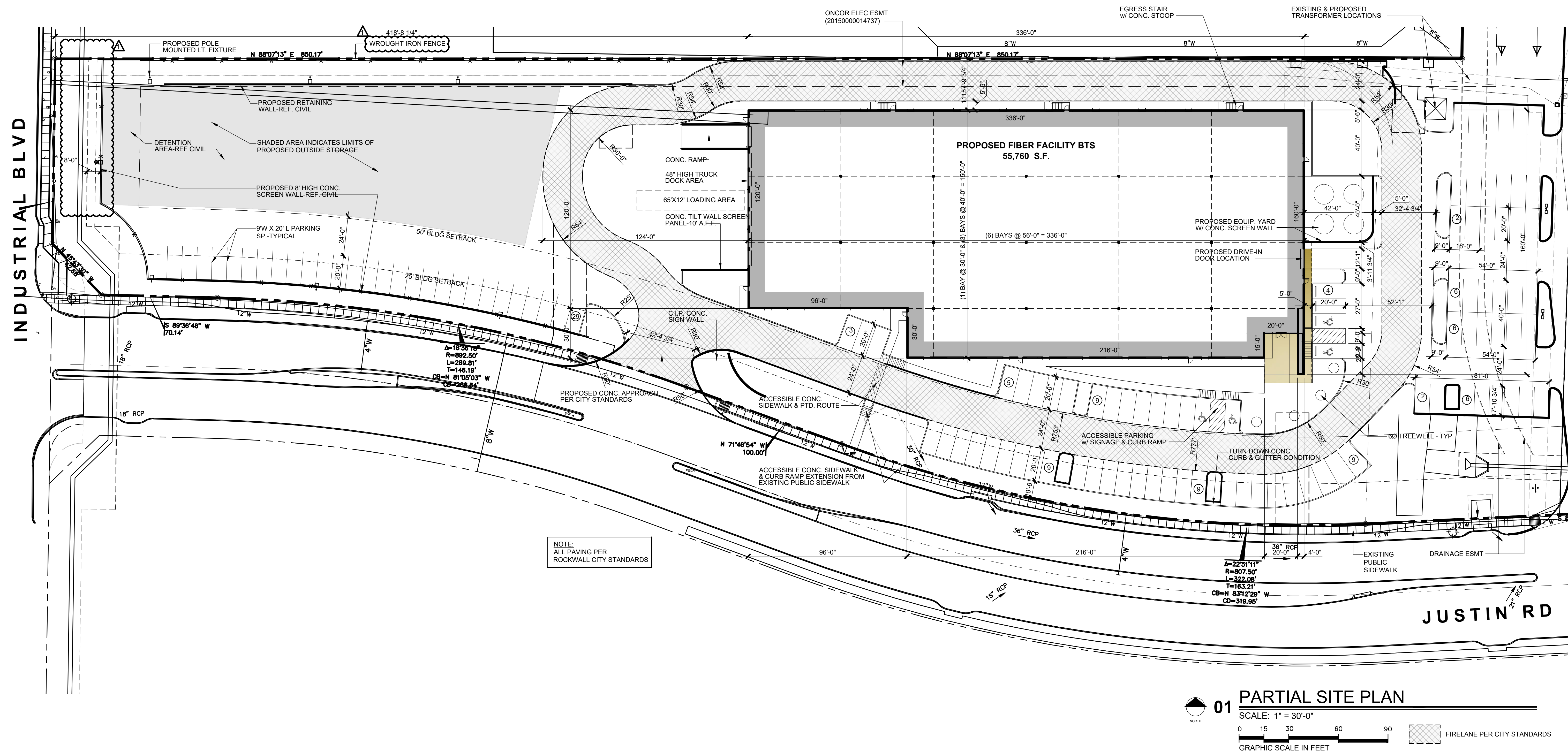
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CHANNELL CAMPUS IMPROVEMENTS



PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
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SHEET: SITE PLAN

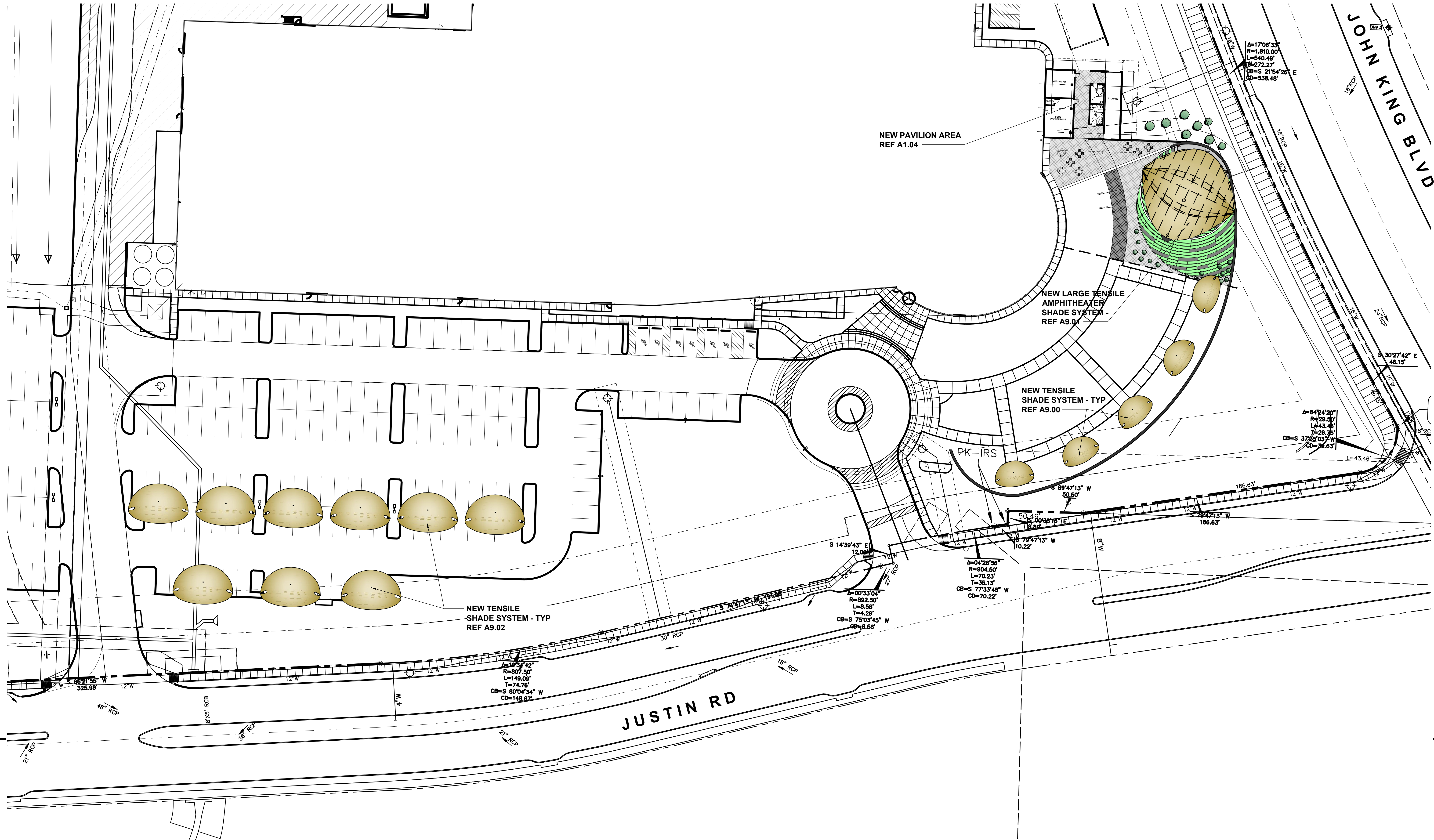
A1.01



2015 INTERNATIONAL BUILDING CODE (IBC) AND LOCAL CODE AMENDMENTS	
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	
2015INTERNATIONAL FIRE CODE (IFC) AND LOCAL CODE AMENDMENTS	
2014 NATIONAL ELECTRIC CODE (NEC)	
2015 INTERNATIONAL MECHANICAL CODE (IMC)	
2015 INTERNATIONAL PLUMBING CODE (IPC)	
<hr/>	
<u>IMPROVEMENT AREA</u>	
FIRST FLOOR OFFICE (FUTURE)	4,000 SF
FIRST FLOOR LT. ASSEMBLY	30,320 SF
MEZZANINE LT. ASSEMBLY	8,000 SF
WAREHOUSE	<u>13,440 SF</u>
TOTAL IMPROVEMENT AREA	55,760 SF
<hr/>	
PARKING REQUIRED - OFFICE (4,000 SF @ 1:300 SF)	= 13.3 SPACES
PARKING REQUIRED - FIRST FLOOR ASSEMBLY (38,320 SF @ 1:500 SF)	= 76.64 SPACES
PARKING REQUIRED - WAREHOUSE (13,440 SF @ 1:1000 SF)	= 13.44 SPACES
<hr/>	
TOTAL PARKING REQUIRED (102 PER 11/20/200 COMMENTS)	102 SPACES
TOTAL REQUIRED ACCESSIBLE PARKING STALLS	4 SPACES
TOTAL PARKING PROVIDED (PER VARIANCE CASE # SP2014-011) 	99 SPACES
TOTAL PROVIDED ACCESSIBLE PARKING STALLS	4 SPACES
<hr/>	
PROPOSED USE	OFFICE & FACTORY
TYPE OF CONSTRUCTION	TYPE IIB
SPRINKLER SYSTEM	ESFR
OCCUPANCY	GROUP B & F-1
<hr/>	
OCCUPANT LOAD	
OFFICE USE AREAS (4,000 SF/100)	26.6
LIGHT ASSEMBLY (38,320 SF/100)	382.2
<u>WAREHOUSE (13,440 SF SF/500)</u>	<u>26.88</u>
TOTAL	435.68
<hr/>	
EXIT WIDTH REQUIRED (435.68 x 0.15)	65.35" WIDE
EXIT WIDTH PROVIDED (32" WIDTH X X OPNGS.)	384" WIDE
EXIT TRAVEL DISTANCE	250 FEET

1 CASE # Z2020-053

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CHANNELL CAMPUS IMPROVEMENTS

1700 JUSTIN ROAD ROCKWALL, TEXAS

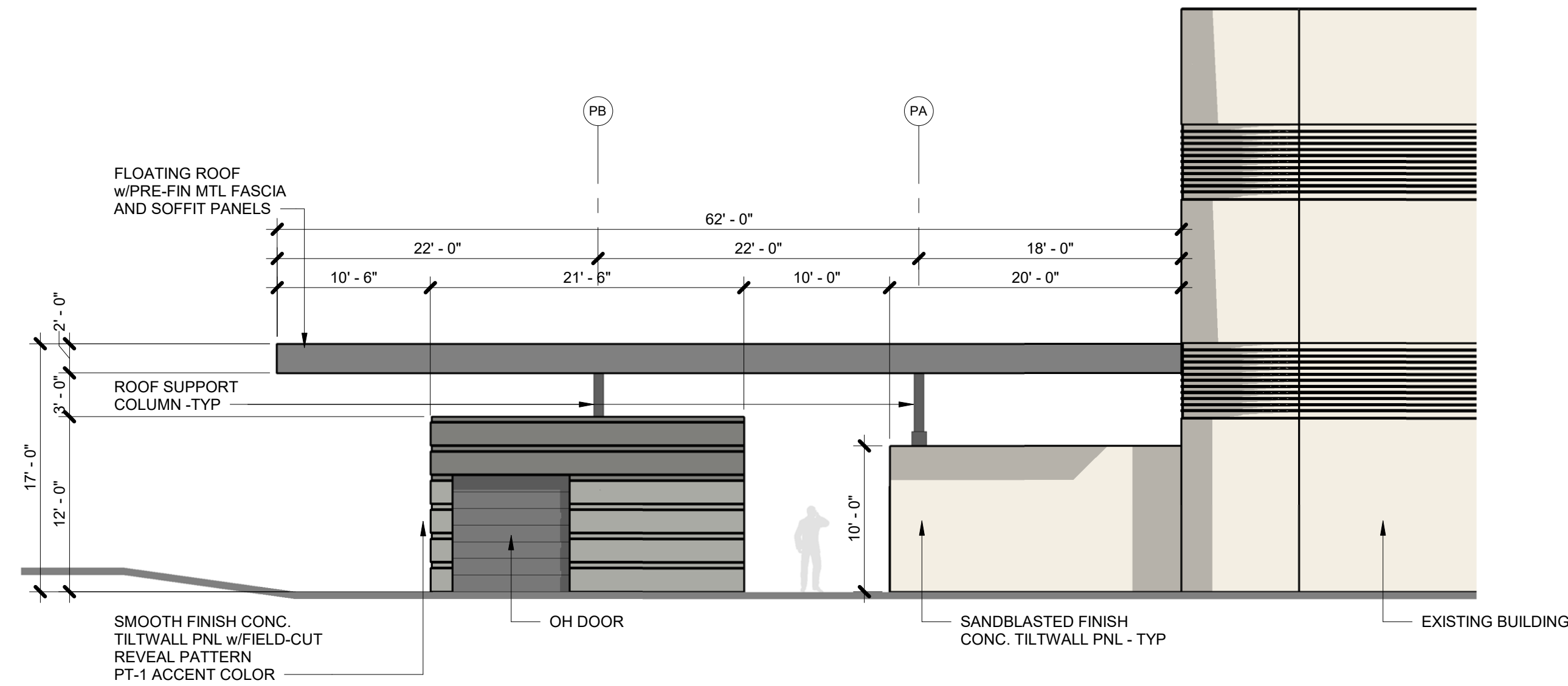


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DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: SITE PLAN

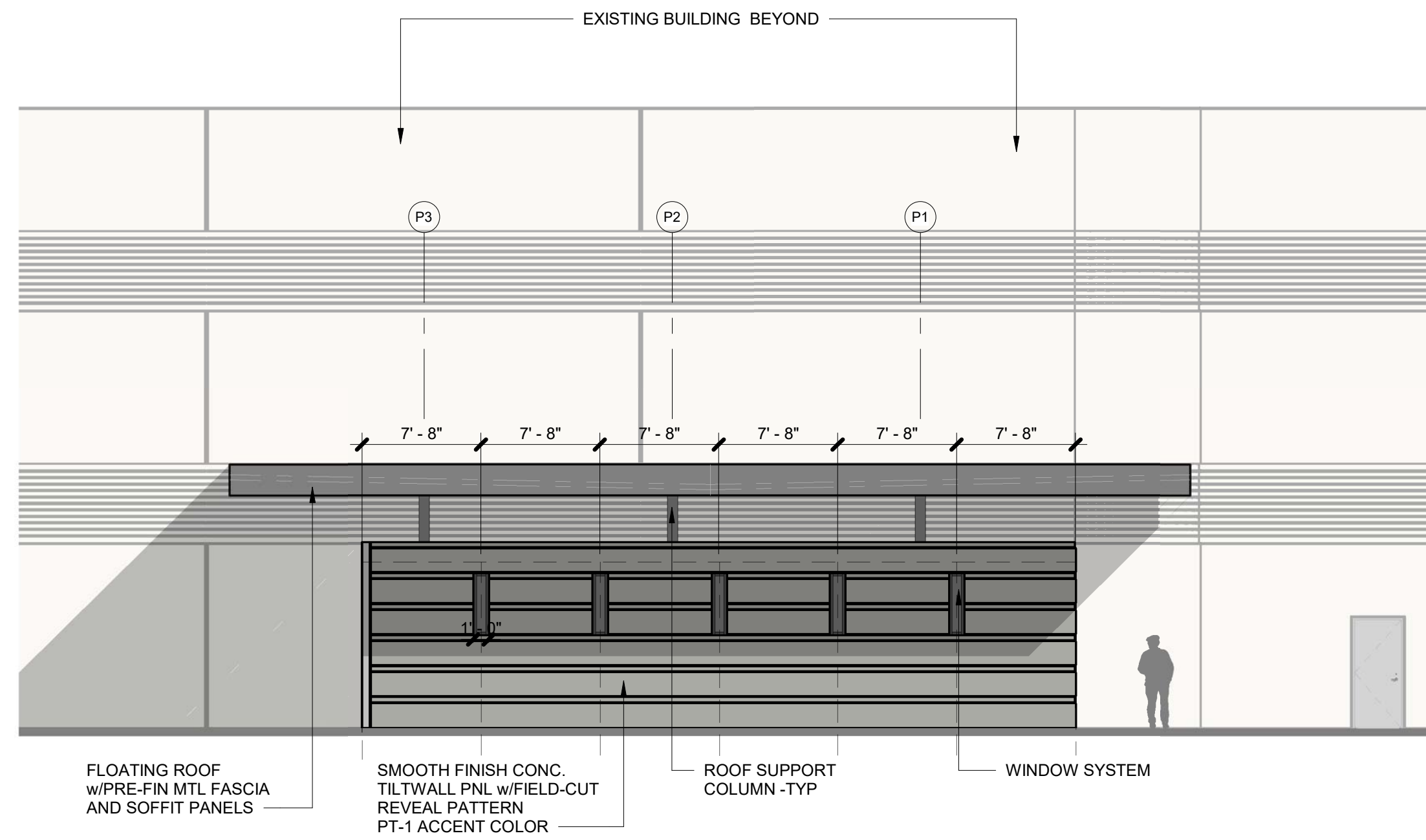
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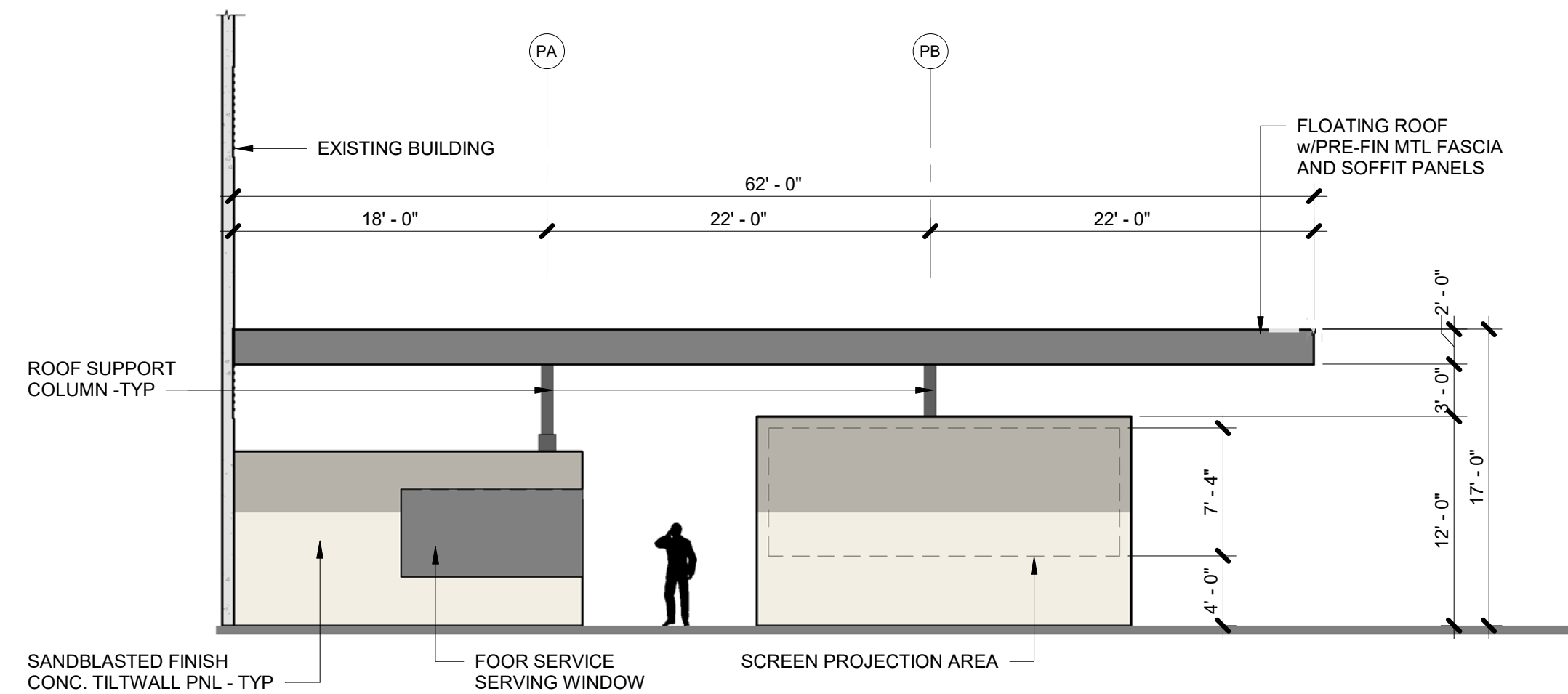
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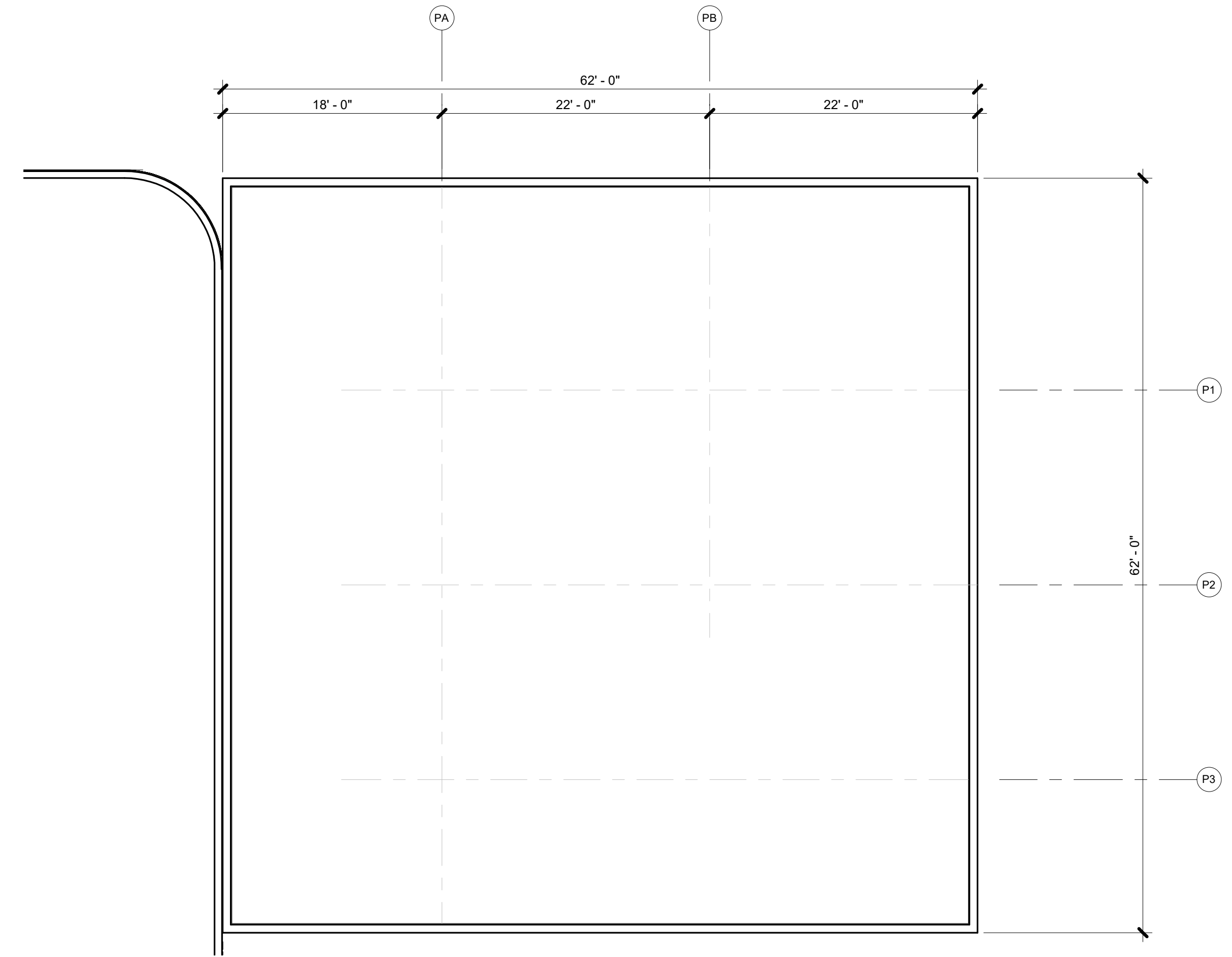
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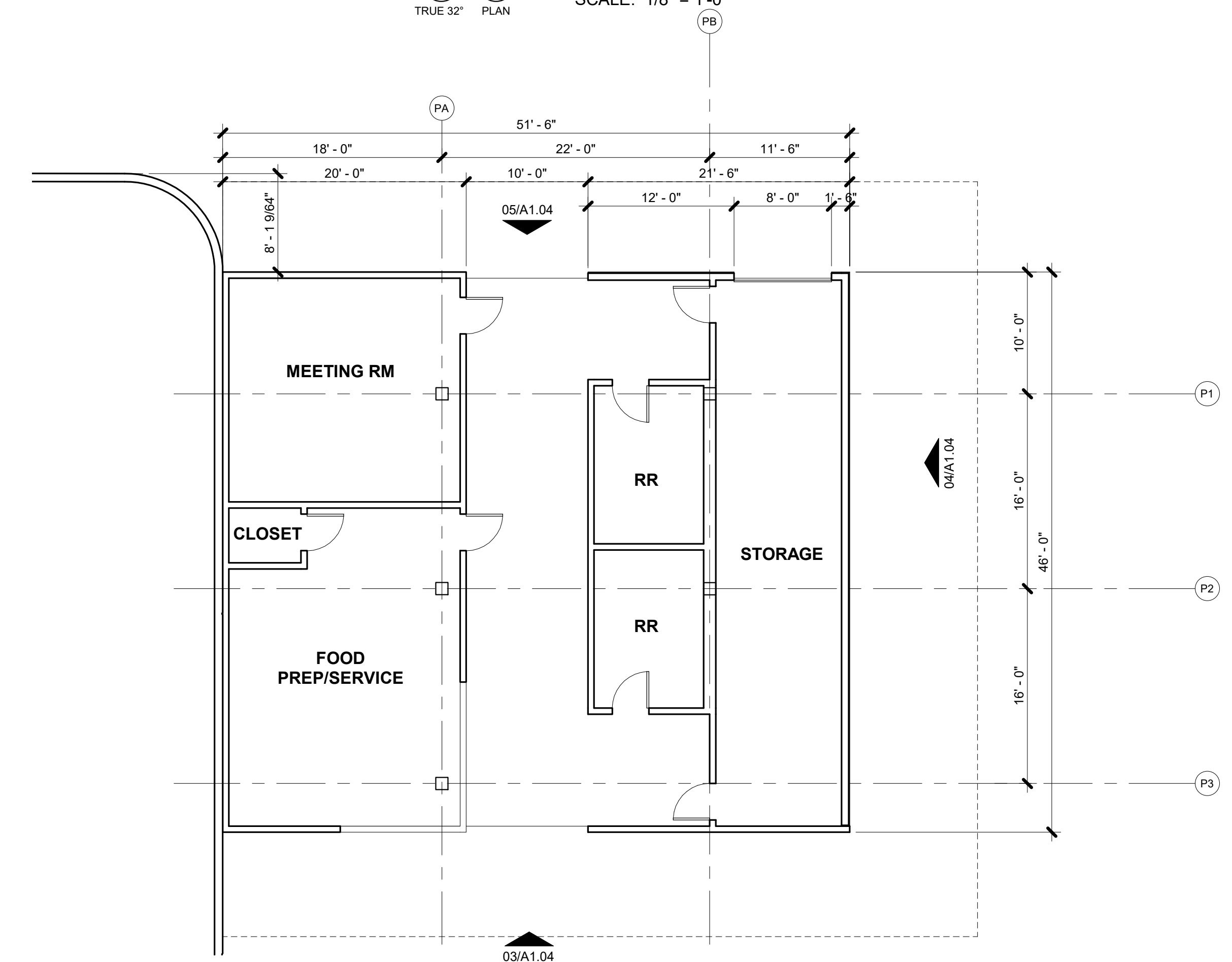
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SCALE: 1/8" = 1'-0"



03 SOUTH ELEVATION PAVILION
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02 PAVILION ROOF
SCALE: 1/8" = 1'-0"



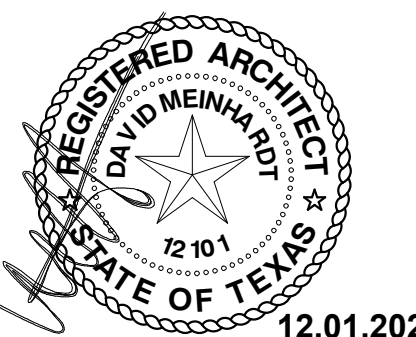
01 PAVILION PLAN
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CASE # Z2020-053

REVISIONS
1 P&Z COMMENTS #1 12.01.20

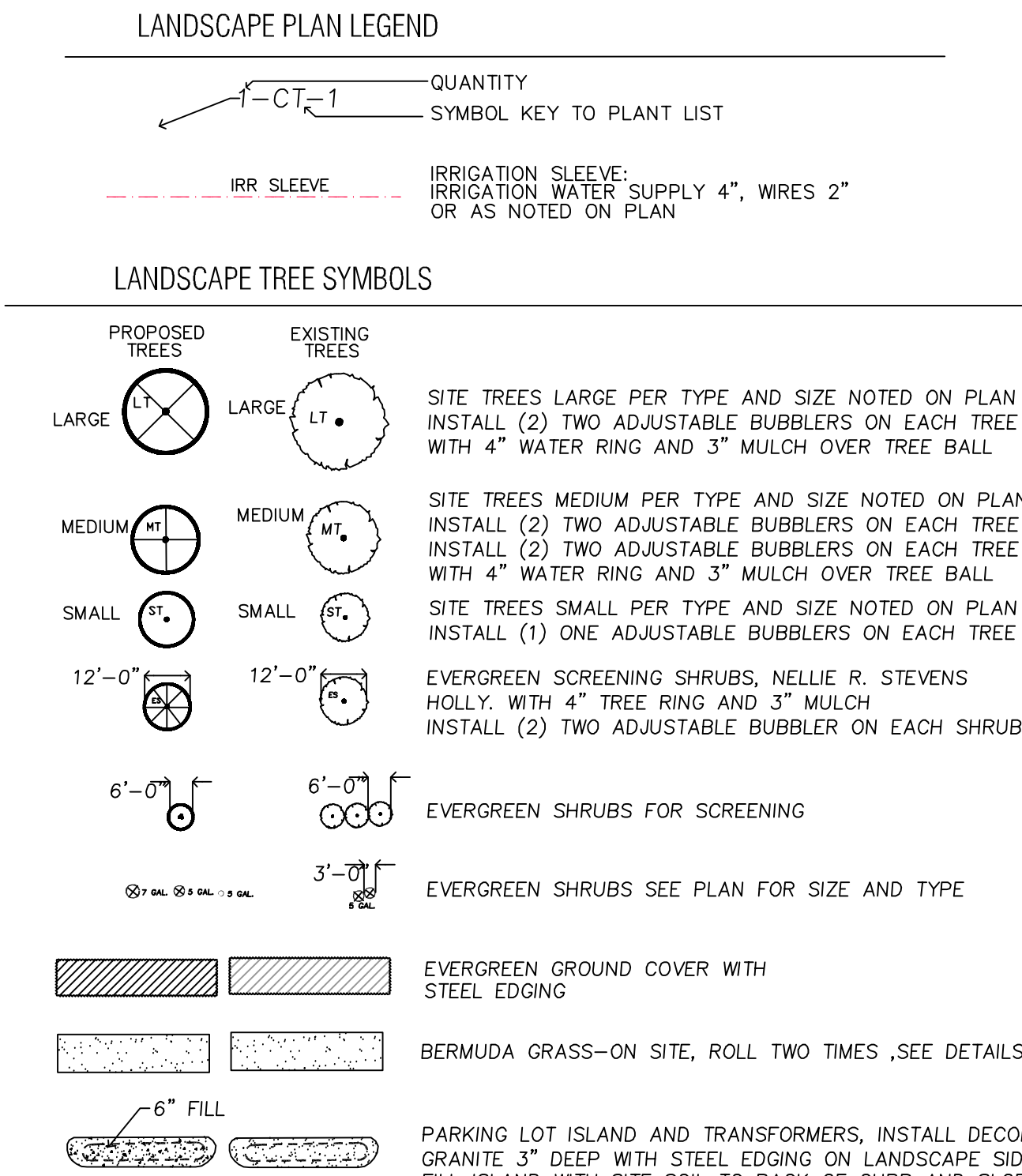
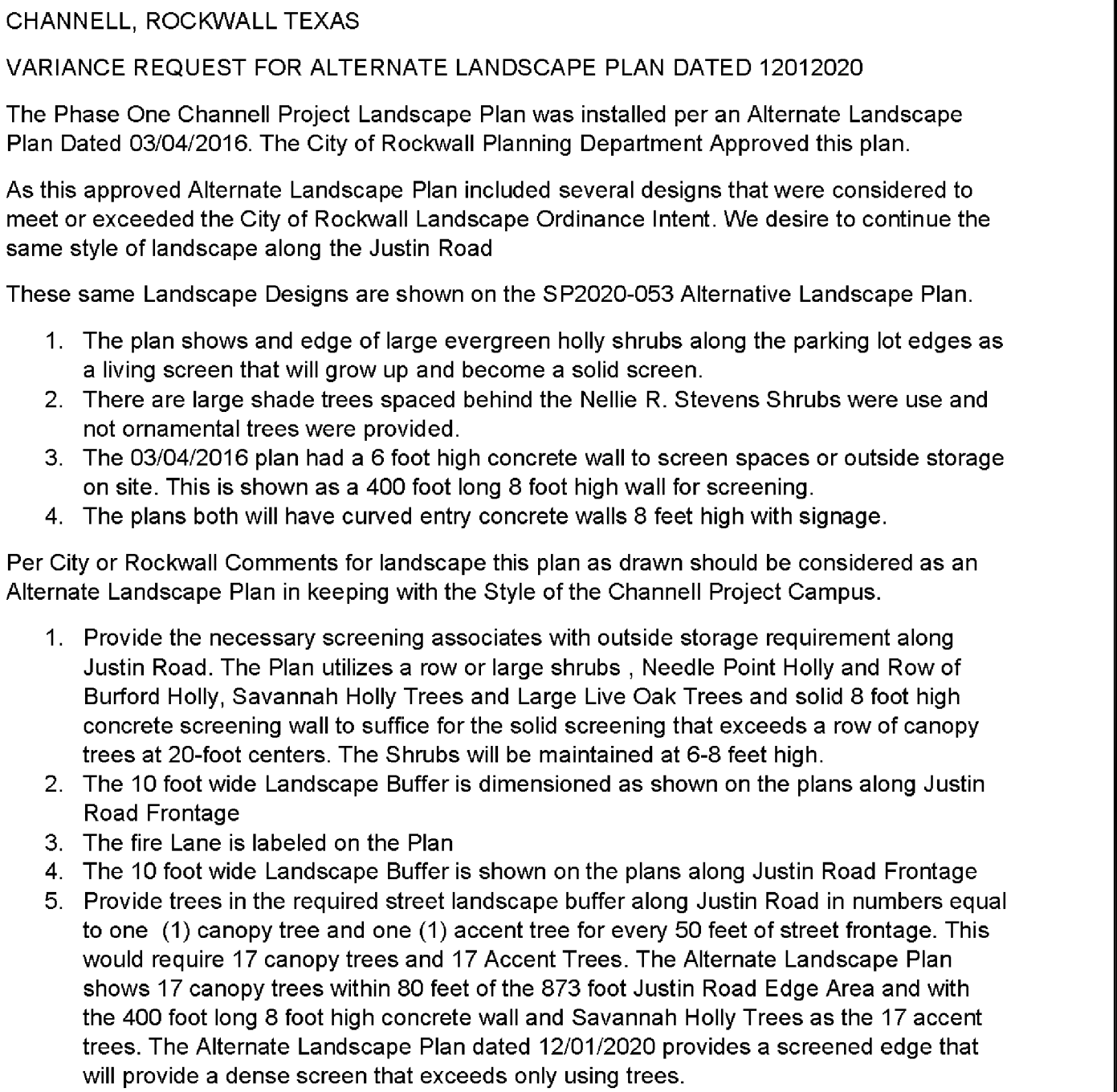
CHANNELL CAMPUS IMPROVEMENTS
ROCKWALL, TEXAS
1700 JUSTIN ROAD

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
1410 DALLAS PARKWAY
SUITE 400
DALLAS TEXAS 75204
214.960.0900



PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: PAVILLION

A1.04




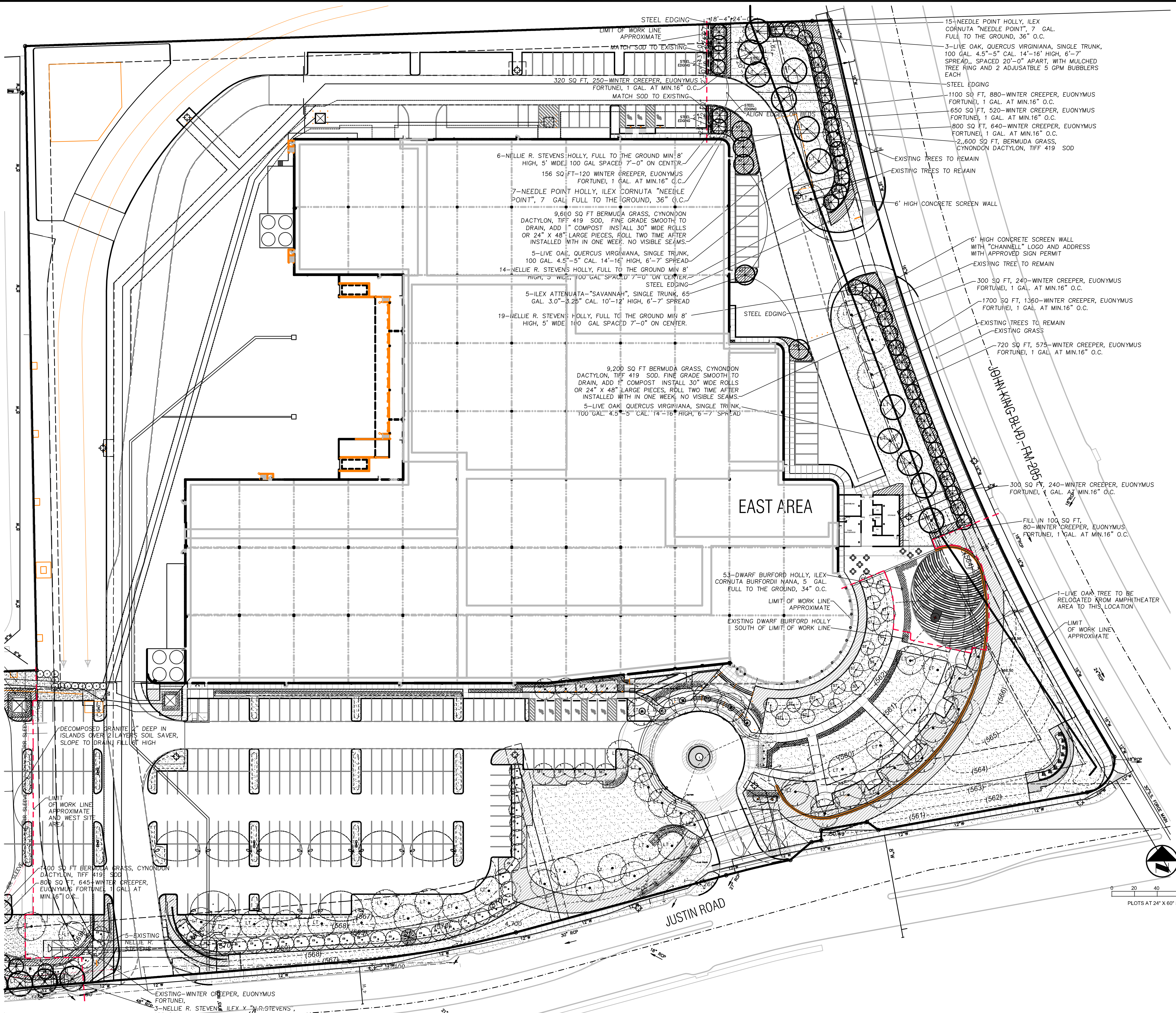
© 2020, T.H. PRITCHETT ASSOCIATES
LANDSCAPE ARCHITECTS AND PLANNER

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DOCUMENT WAS AUTHORIZED BY
T. H. PRITCHETT, R.L.A.
NO. 2115 ON 12/01/2020

NO.	DATE	REVISION					
		T. H. Pritchett / Associates LANDSCAPE ARCHITECTS 1218 CAMINO LAGO, IRVING, TEXAS 75039 972.869-3535					
ALTERNATE LANDSCAPE PLAN WEST							
CHANNELL COMMERCIAL CORP.							
WATER PARKING & STORAGE LAYOUT							
1700 JUSTIN ROAD							
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS							
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.	
THP	THP	12/01/2020	1"=30'			LAW-1	



LANDSCAPE IRRIGATION WARRANTEE

- 1. LANDSCAPE CONTRACTOR SHALL WARRANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM TIME OF FINAL ACCEPTANCE AND PAYMENT OF THE COMPLETED WORK.
- 2. IRRIGATION SYSTEM SHALL BE WARRANTED FOR ONE YEAR PARTS AND LABOR FOR NEW ITEMS.

ROOT BARRIERS AT UTILITIES AND PAVING EDGES

- 1. NO TREE SHALL BE PLANTED WITHIN 5 FEET OF ALL UTILITIES WATER, SEWER, ELCC, CABLE, STORM, ECT.
- 2. ROOT BARRIERS ARE REQUIRED ON ALL TREES WITHIN UTILITY EASEMENTS AND AT EDGE OF PAVING WITHIN 5 FEET. PROVIDE ON ALL TREES SHOWN, UNLESS NOTED
- 3. DEEP ROOT BARRIERS, 1-800-458-7668, INSTALL UB-48-2 PER SPECIFICATIONS AT EACH TREE ON SIDE OF PAVING OR UTILITY. INCLUDE 2" WIDE TRENCH OF 3/4" DRAIN GRAVEL ON OUT SIDE OF BARRIER, 24" DEEP. BARRIER TO EXTEND 1" ABOVE GRADE.

CITY OF ROCKWALL MAINTENANCE NOTE:

MAINTENANCE: THE CURRENT OWNER AND SUBSEQUENT OWNERS OF THE LANDSCAPED PROPERTY, OR MANAGER OR AGENT OF THE OWNER, SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL THE LANDSCAPED AREAS AND MATERIALS, REQUIRED BUFFER YARD AREAS AND MATERIALS AND REQUIRED SCREENING MATERIALS. SAID AREAS MUST BE MAINTAINED O AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE AT ALL TIMES AND SHALL BE KEPT FREE OF REFUSE AND DEBRIS. MAINTENANCE WILL INCLUDE REPLACEMENT OF ALL DEAD PLANT MATERIAL IF THAT MATERIAL WAS USED TO MEET THE REQUIREMENTS OF THE UDC. ALL SUCH PLANTS SHALL BE REPLACED WITHIN (6) SIX MONTHS OF NOTIFICATION, OR BY THE NEXT PLANTING SEASON, WHICH EVER COMES FIRST. A PROPERTY/HOMEOWNERS ASSOCIATION MAY ASSUME RESPONSIBILITY FOR MAINTENANCE OF COMMON AREAS.

IRRIGATION AFFIDAVIT

ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATIVE (ET) WEATHER BASED CONTOLLERS ANS SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED LICENSED IRRIGATOR.

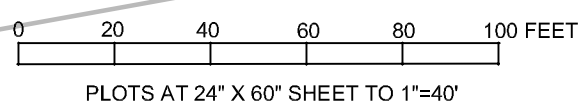
BERMUDA SOD NOTES

- 1. WATER SETTLE ALL TRENCHING ON SITE IN SOD AREA.
- 2. SITE SOIL TO BE TILLED, 6" DEEP BY MECHANICAL TILLER, BREAKING DOWN CLODS TO MAX 1" SIZES, REMOVING ALL ROCKS OVER 1" DIA AND DEBRIS IN ALL AREAS.
- 3. LEVEL TO DRAIN FINE GRADE SMOOTH TO DRAIN. FINISH WITH LARGE HAND RAKE SURFACE.
- 4. INSTALL 1" COMPOST, RAKE SMOOTH.
- 5. APPLY SLOW RELEASE FERTILIZER. PER MANUFACTURER INSTRUCTIONS.
- 6. INSTALL SOD, IN LARGE ROLLS, STAGGERING EDGES AND FITTING WITH NO GAPS ARE ALLOWED.
- 7. WATER (3) TIMES A DAY (4) FOUR MINUTES A DAY FOR 7 DAYS TO NOT LET ROOTS DRY OUT. ADJUST TIME AS REQUIRED TO NOT OVER WATER.
- 8. CONTRACTOR TO MAINTAIN GRASS AND INCLUDE (1) ONE MOWING IN BASE BID AFTER SOD REACHES 1.5"-2" HIGH.

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LANDSCAPE ARCHITECTS AND PLANNERS
THESE DRAWINGS AND /OR SPECIFICATIONS PROVIDED WITHIN THIS DOCUMENT ARE PREPARED SPECIFICALLY FOR THIS PROJECT. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR PART FOR ANY OTHER PURPOSES OR BY ANY OTHER PARTY WITHOUT THE WRITTEN PERMISSION OF T.H. PRITCHETT ASSOCIATES. REPRODUCTION IS PROHIBITED.



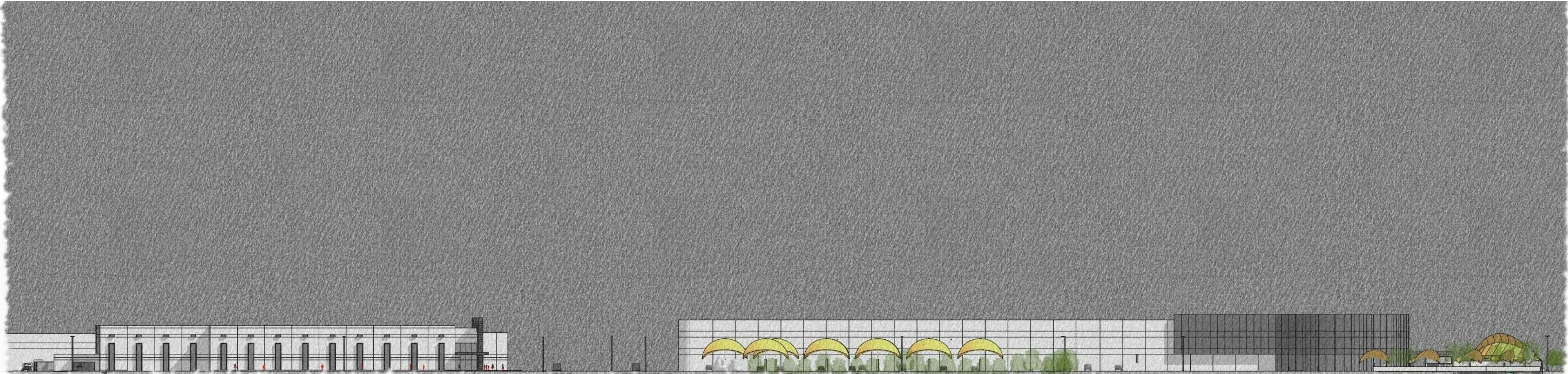
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY T. H. PRITCHETT, R.L.A. NO. 2115 ON 12/01/2020



SP-2020-053

NO.	DATE	REVISION				
TP	T. H. Pritchett / Associates					
	LANDSCAPE ARCHITECTS 1218 CAMINO LAGO, IRVING, TEXAS 75039 972.869-3535					
ALTERNATE LANDSCAPE PLAN EAST						
CHANNELL COMMERCIAL CORP.						
WEST PARKING & STORAGE LAYOUT						
1700 JUSTIN ROAD						
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
THP	THP	12/01/2020	1"=30'			LAE-1

12/1/2020 1:30:25 PM \\IMA-SERVER-02\Projects\MISC\20205-CHANNELL Corp\CDs Shell\REVIT\20205_ARCH_CHANNELL 50K_R20.rvt

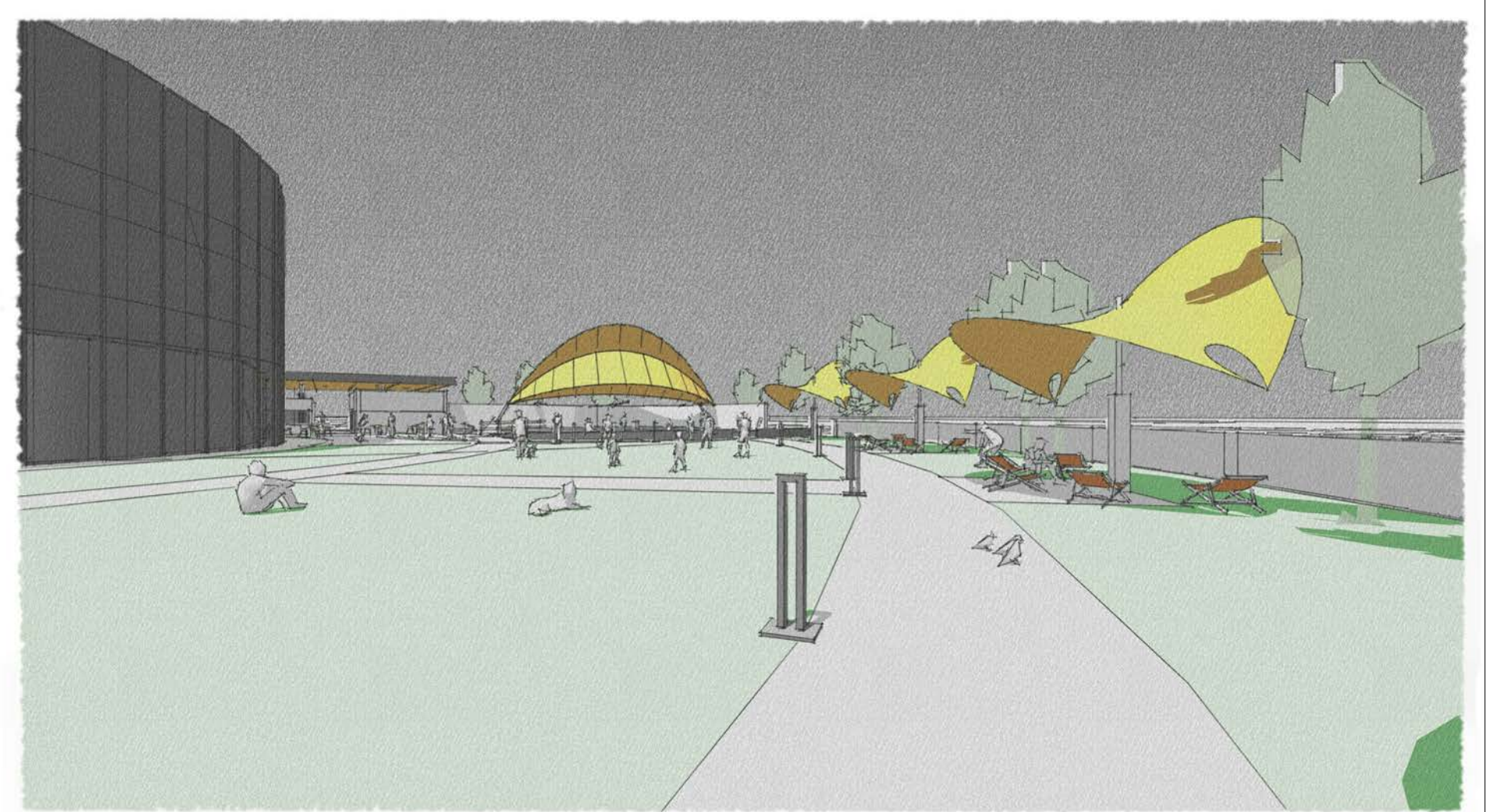
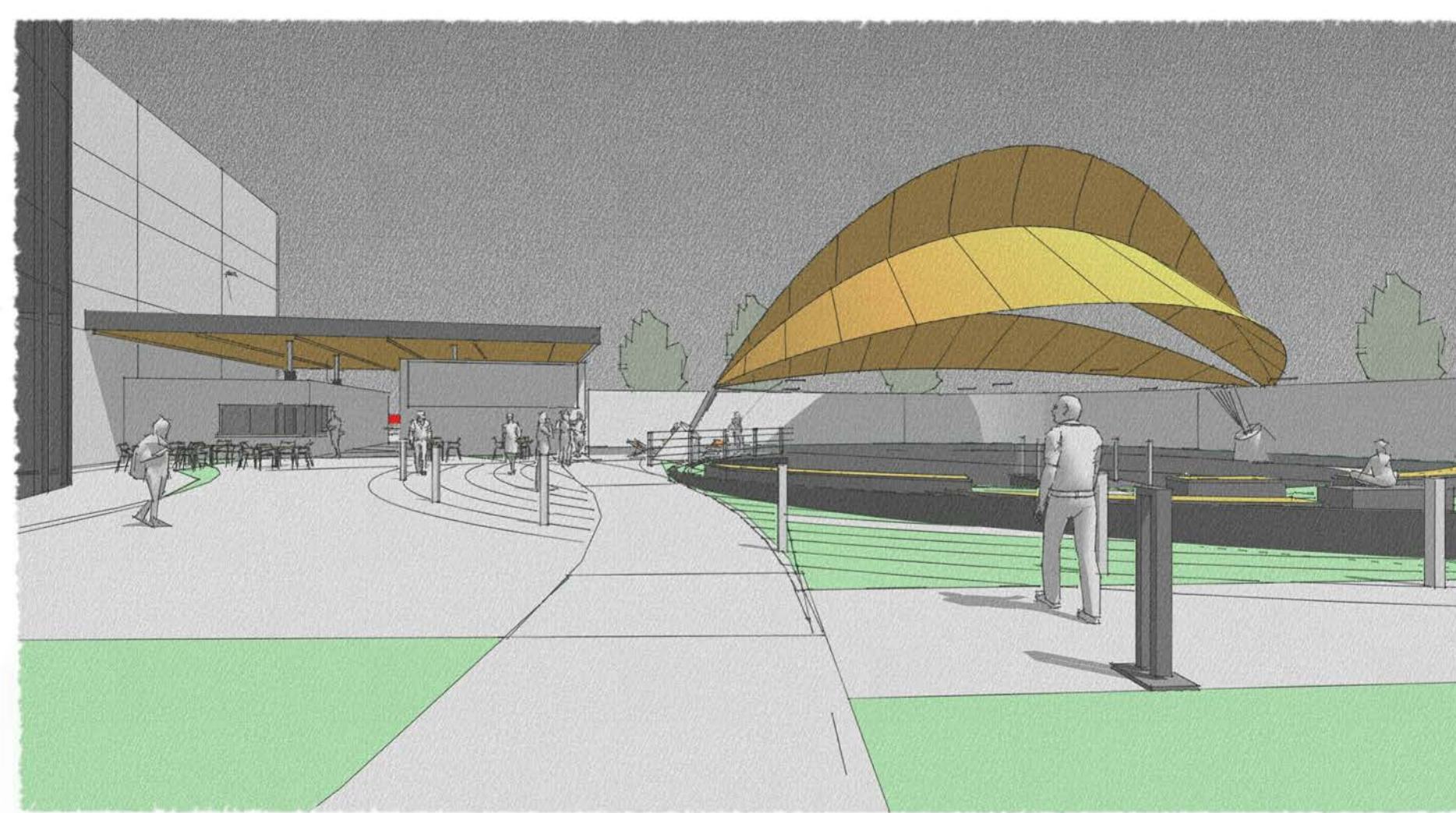
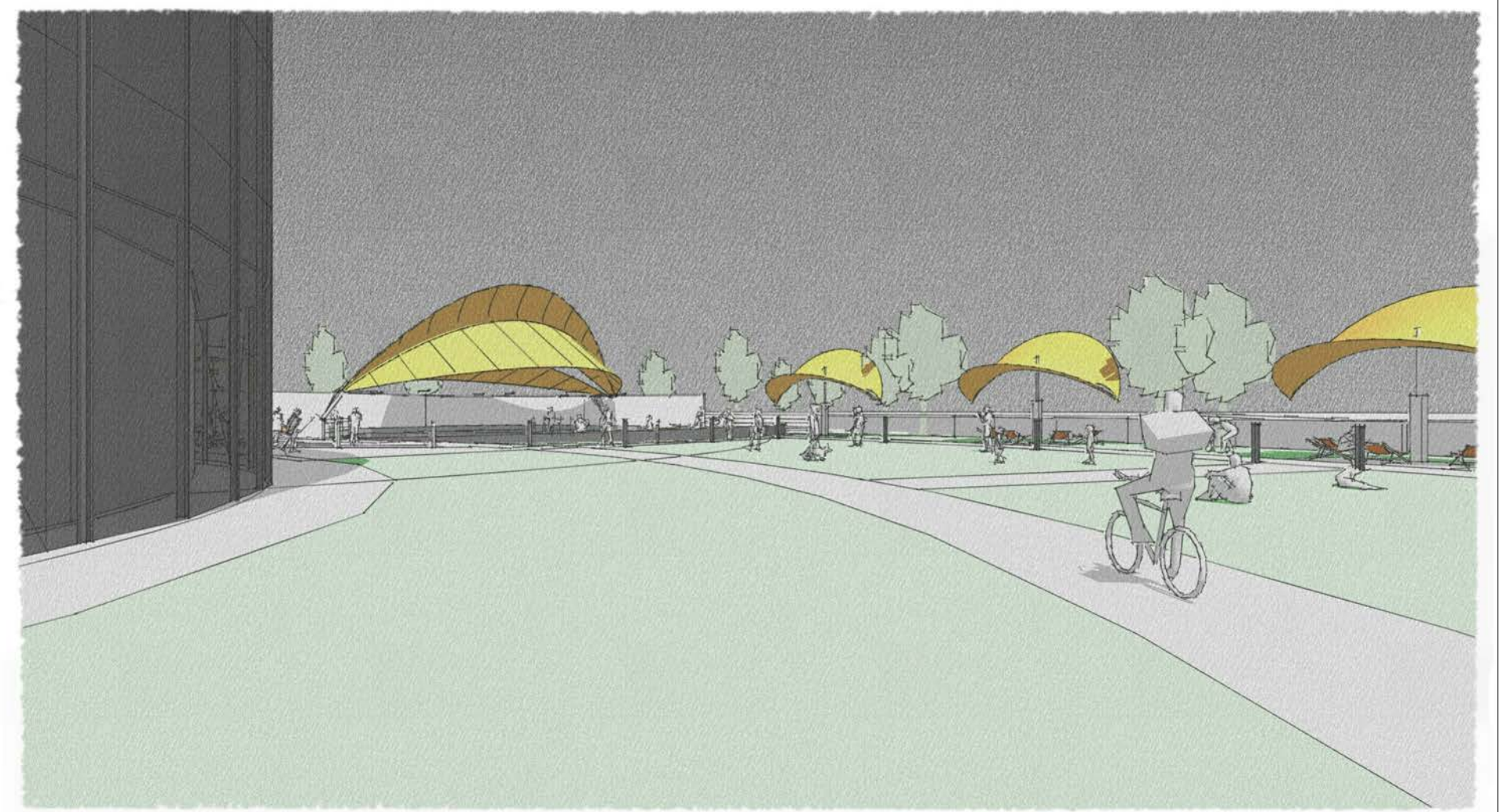
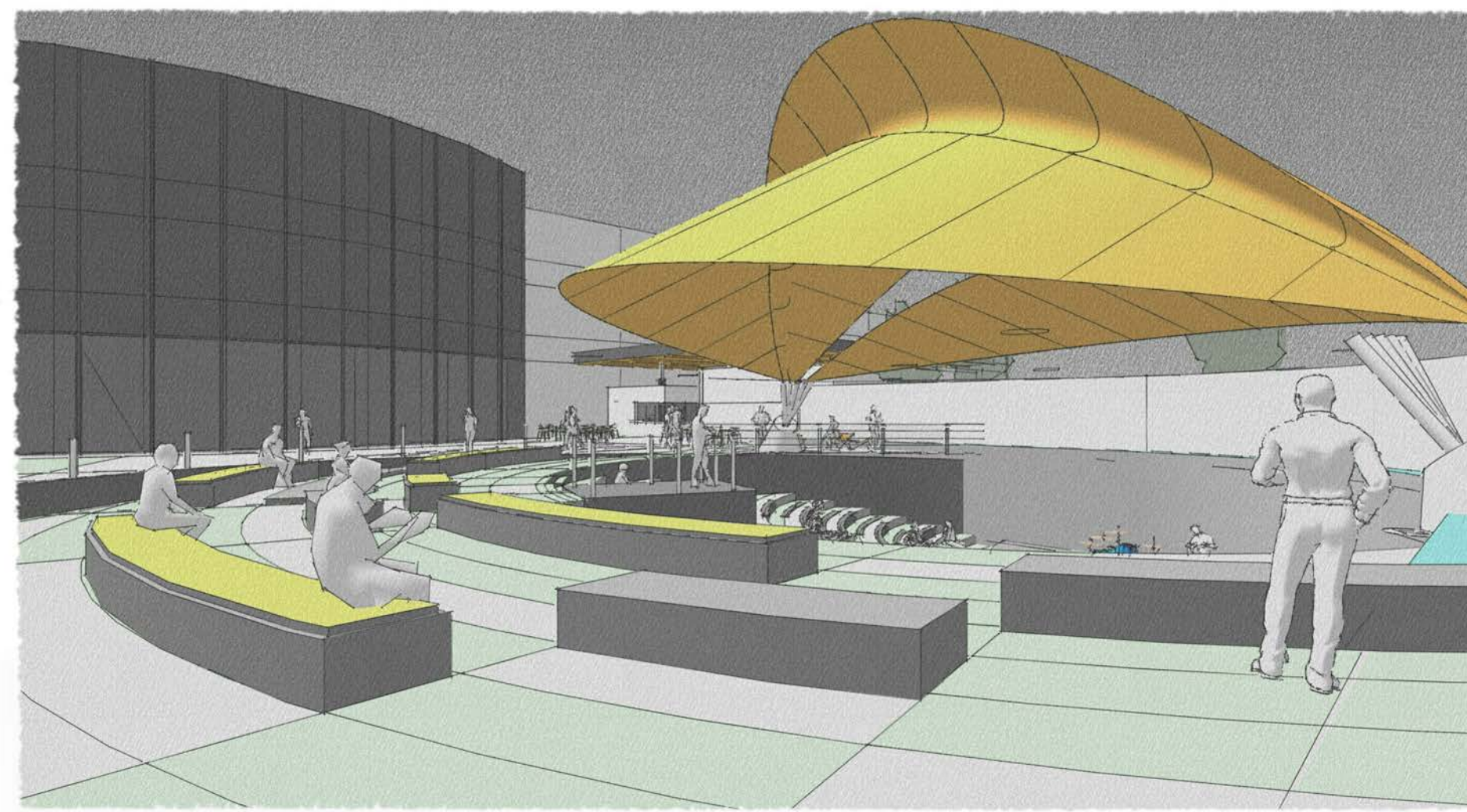
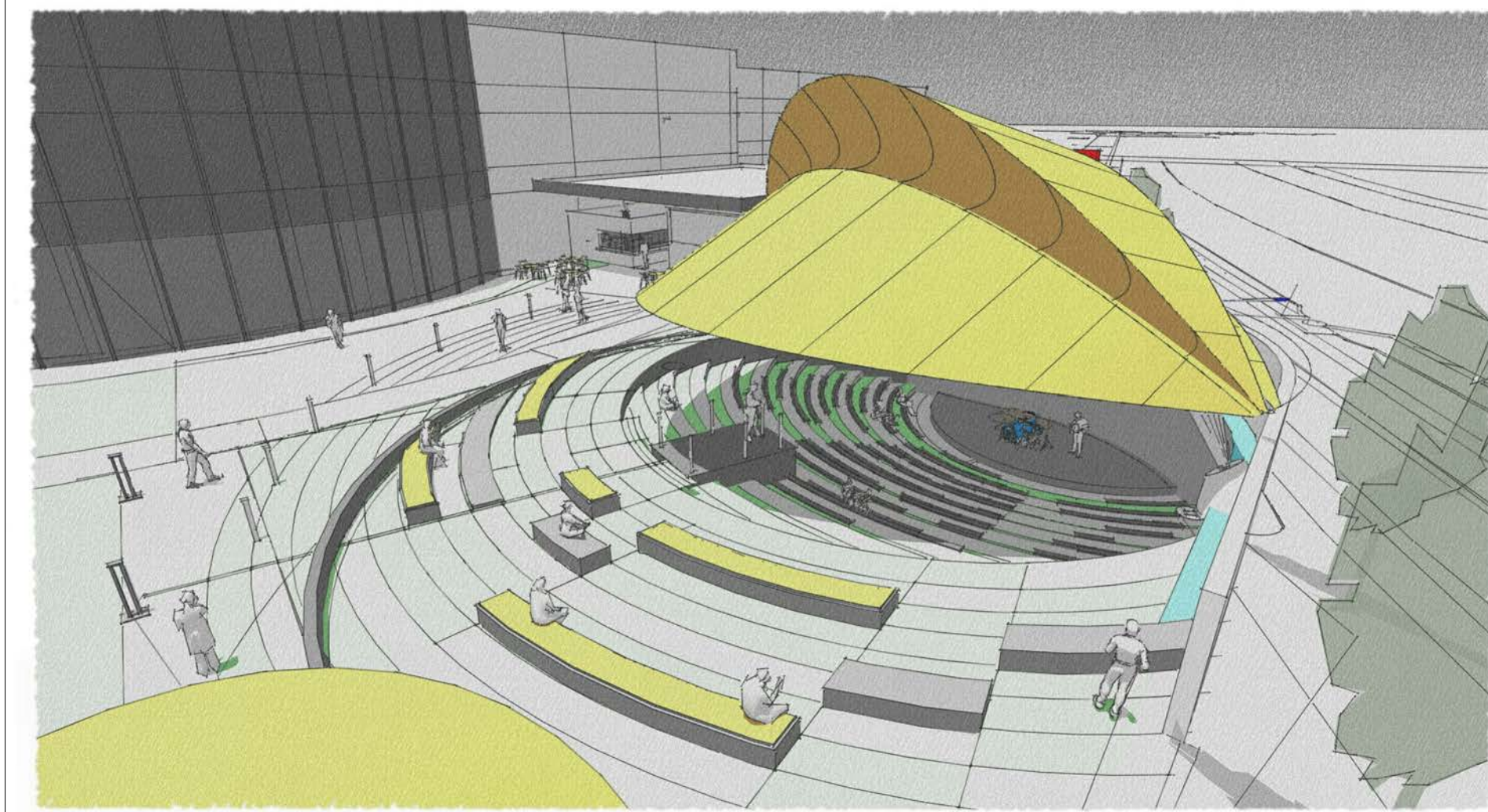
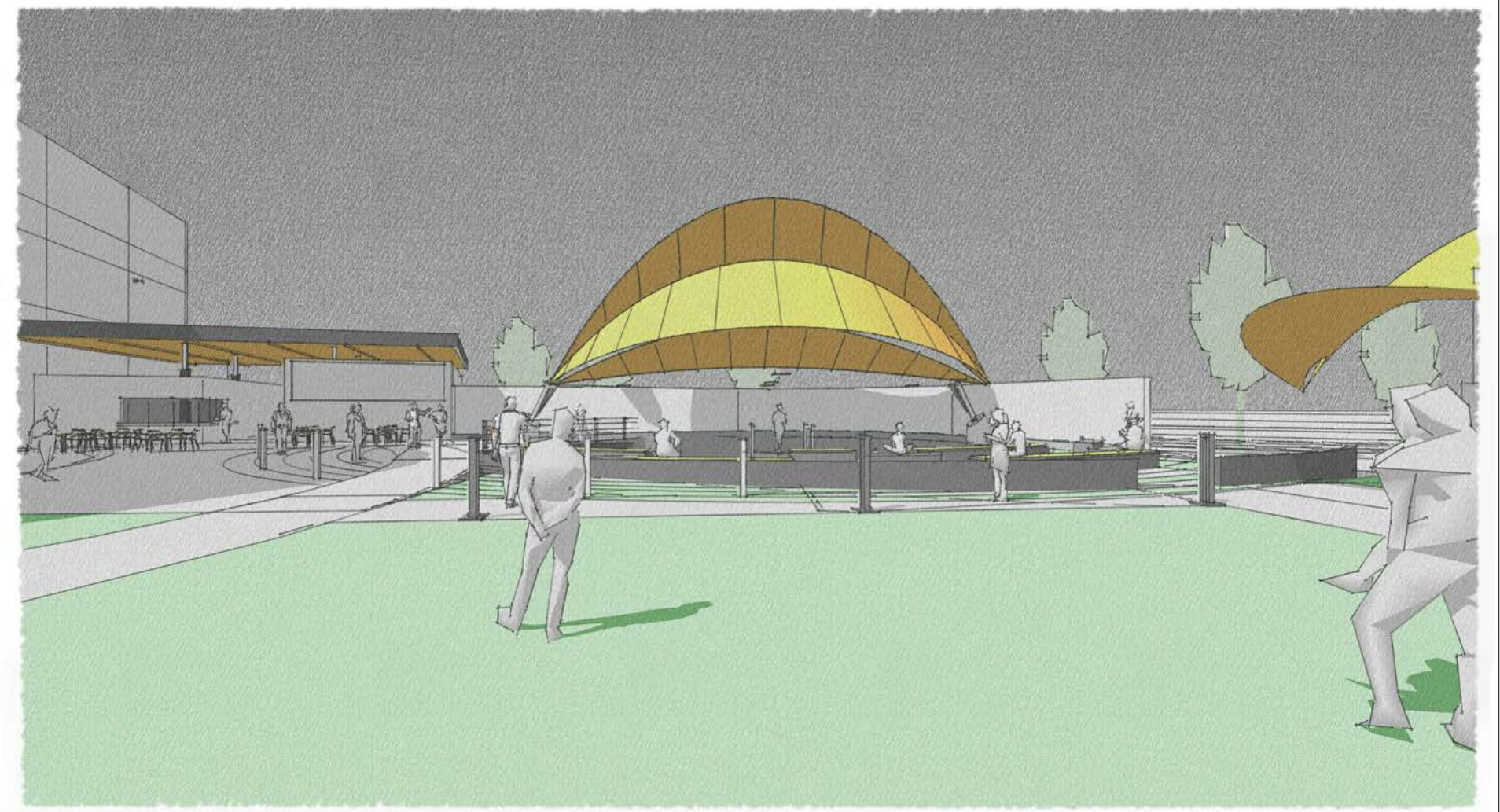
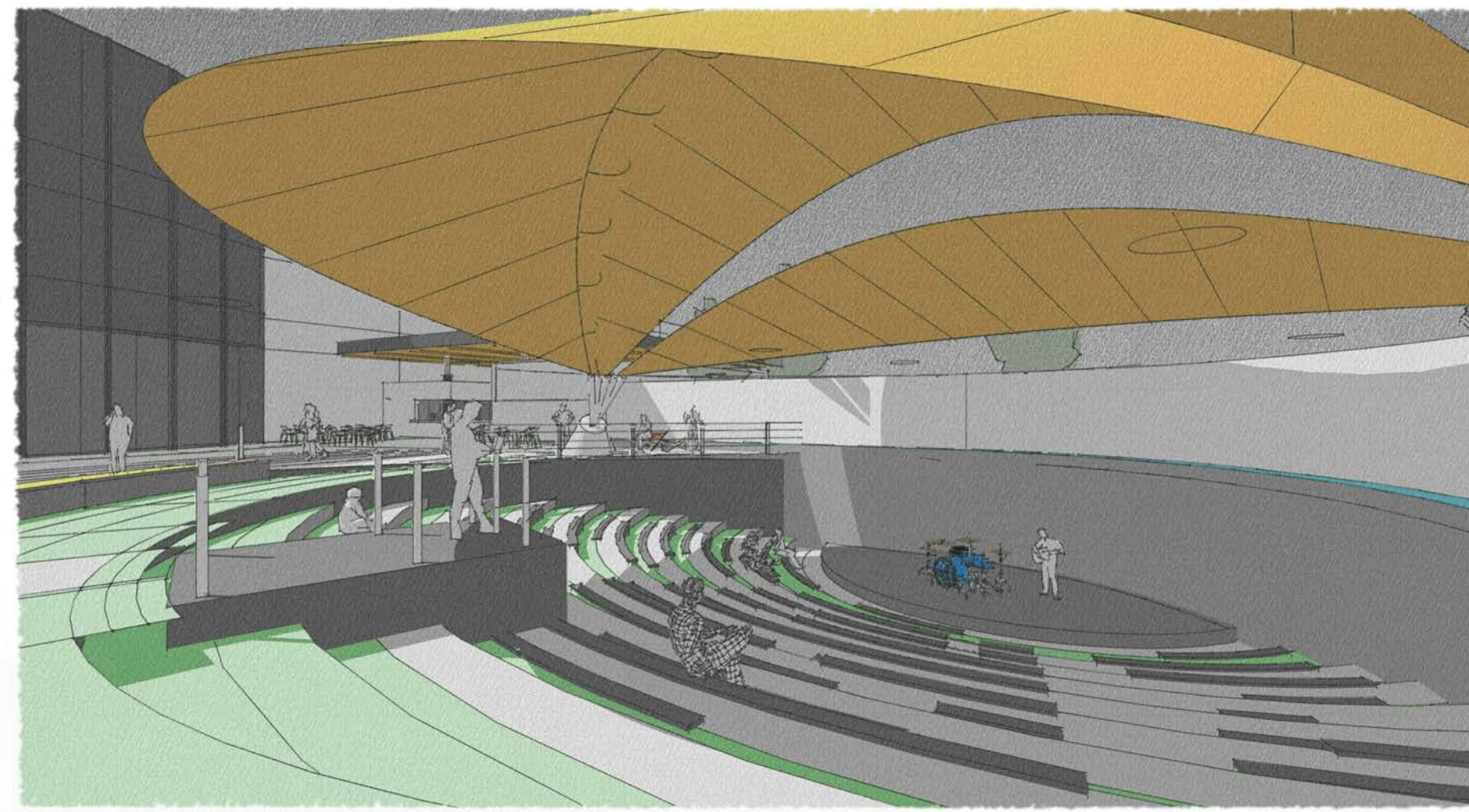
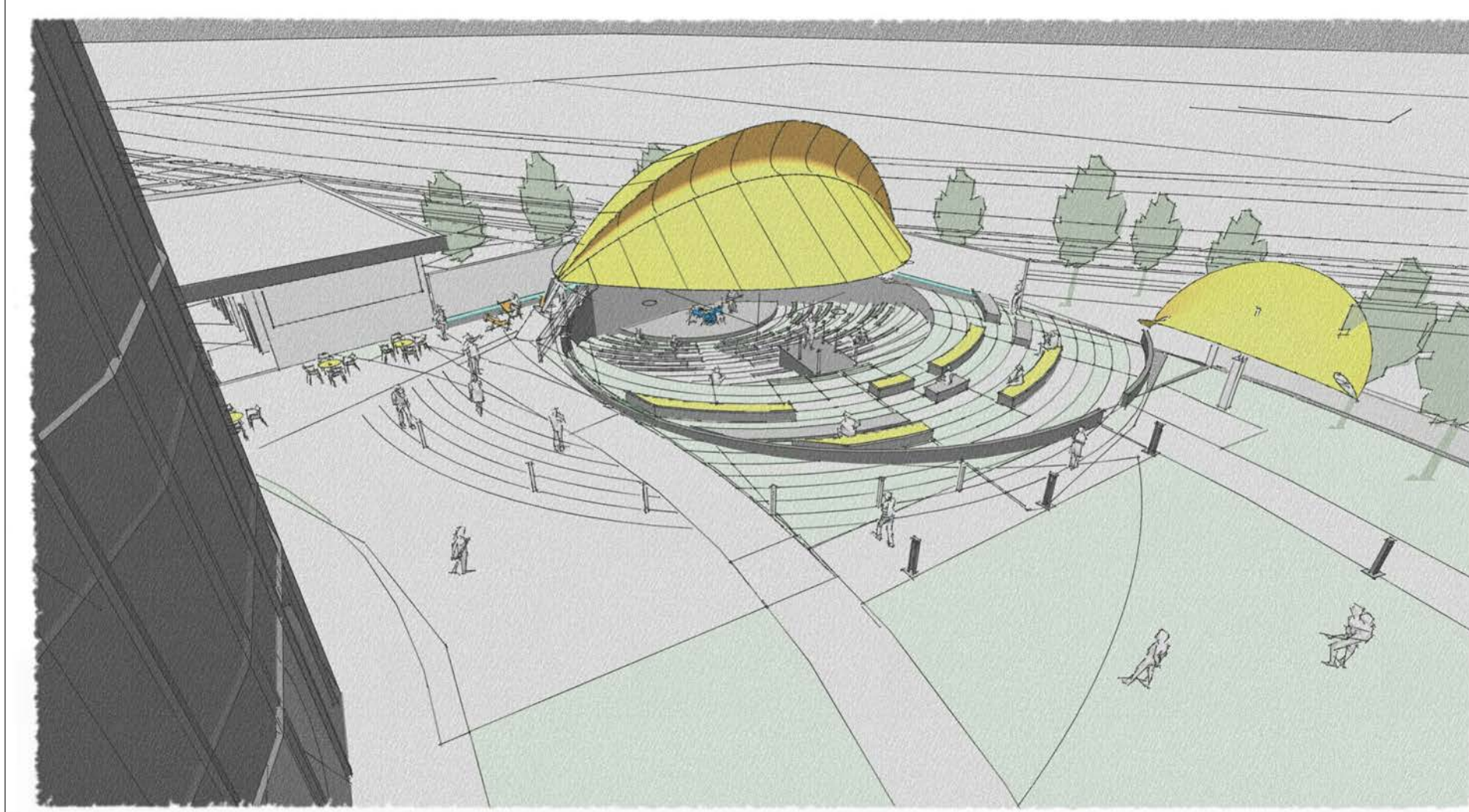


SOUTH CAMPUS ELEVATION - JUSTIN RD



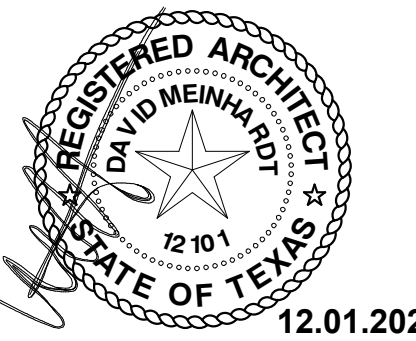
EAST CAMPUS ELEVATION - JOHN KING BLVD

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CHANNELL CAMPUS IMPROVEMENTS
1700 JUSTIN ROAD
ROCKWALL, TEXAS

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
1400 DALLAS PARKWAY
SUITE 400
DALLAS, TEXAS 75244
(214) 760-0800



PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: P&Z CONCEPT IMAGES

A1.06

CASE # Z2020-053

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ELEVATION + MATERIAL CALCS

SOUTH ELEVATION - PRIMARY FACADE

TOTAL FACADE AREA = 15,253.00 SF	100%
• CONCRETE TILT WALL = 13,495.00 SF	88.47%
• GLASS = 1,625.00 SF	10.66%
• MTL ACCENT CANOPY = 57.00 SF	0.37%
• MTL WINDOW SHROUDS = 27.00 SF	0.18%
• HM DOORS = 48.00 SF	0.31%

WEST ELEVATION - PRIMARY FACADE

TOTAL FACADE AREA = 6,290.00 SF	100%
• CONCRETE TILT WALL = 5,473.00 SF	87.01%
• GLASS = 36 SF	0.57%
• MTL WINDOW SHROUDS = 1.00 SF	0.02%
• HM DOORS = 72.00 SF	1.14%
• OH DOORS = 708.00 SF	11.26%

NORTH ELEVATION

TOTAL FACADE AREA = 16,216.00 SF

• CONCRETE TILT WALL = 15,371.00 SF	97.79%
• GLASS = 419.00 SF	2.58%
• MTL WINDOW SHROUDS = 17.00 SF	0.10%
• MTL LOUVERS = 337.00 SF	2.08%
• HM DOORS = 72.00 SF	0.44%

EAST ELEVATION

TOTAL FACADE AREA = 4,935.00 SF

• CONCRETE TILT WALL = 1,613.00 SF	80.65%
• GLASS = 1.00 SF	0.05%
• MTL ACCENT CANOPY = 170.00 SF	8.50%
• HM DOORS = 48.00 SF	2.40%
• OH DOORS = 168.00 SF	8.40%

ARTICULATION CALCS

SOUTH ELEVATION - PRIMARY FACADE

1. WALL HEIGHT = 40'-0"	216' - 0" PROVIDED
2. WALL LENGTH = 4 x 40'-0" = 160'-0" MAX	15' - 0" PROVIDED
3. WALL PROJECTION = 25% X 40'-0" = 10'-0" MIN	20' - 0" PROVIDED
4. ENTRY / ARCH ELEMENT LENGTH = 33% x 40'-0" = 13'-2 3/8" MIN	8' - 0" PROVIDED
5. PROJECTION HEIGHT = 25% x 40'-0" = 10'-0" MIN	25' - 0" PROVIDED
6. ENTRY / ARCH ELEMENT WIDTH = 2 x (25% x 40'-0") = 20'-0"	

WEST ELEVATION - PRIMARY FACADE

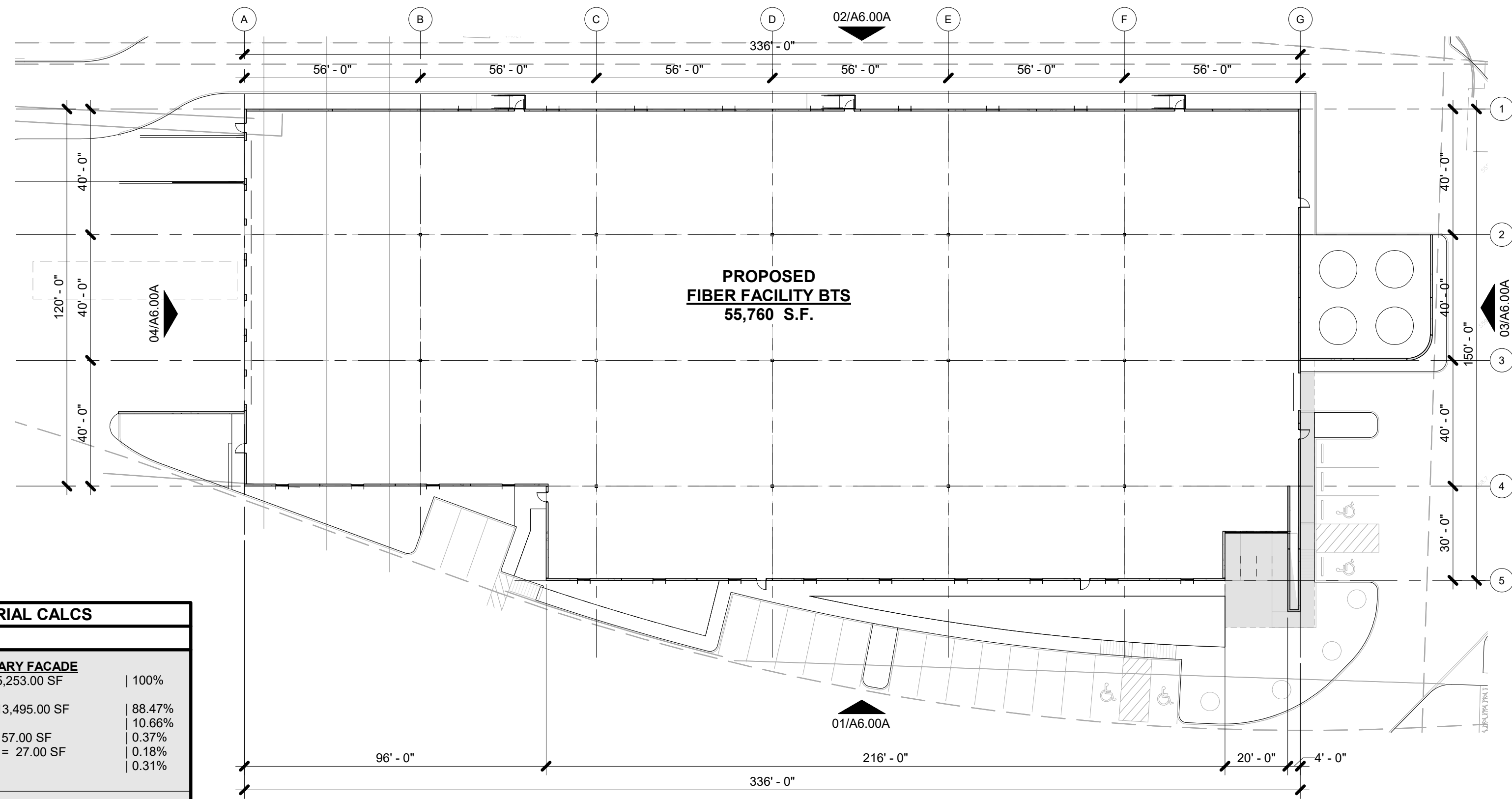
1. WALL HEIGHT = 40'-0"	120' - 0" PROVIDED
2. WALL LENGTH = 4 x 40'-0" = 160'-0" MAX	N/A
3. WALL PROJECTION = 25% X HEIGHT = N/A	N/A
4. ENTRY / ARCH ELEMENT LENGTH = 33% x LENGTH = N/A	N/A
5. PROJECTION HEIGHT = 25% x HEIGHT = N/A	N/A
6. ENTRY / ARCH ELEMENT WIDTH = 2 x (25% x H)	N/A

NORTH ELEVATION - SECONDARY FACADE

1. WALL HEIGHT = 40'-0"	336' - 0" PROVIDED
2. WALL LENGTH = 3 x 40'-0" = 120'-0" MAX	N/A
3. ENTRY / ARCH ELEMENT LENGTH = 15% x LENGTH = N/A	N/A
4. ENTRY / ARCH ELEMENT WIDTH = 15% x HEIGHT = N/A	N/A
5. PROJECTION HEIGHT = 15% x HEIGHT	N/A

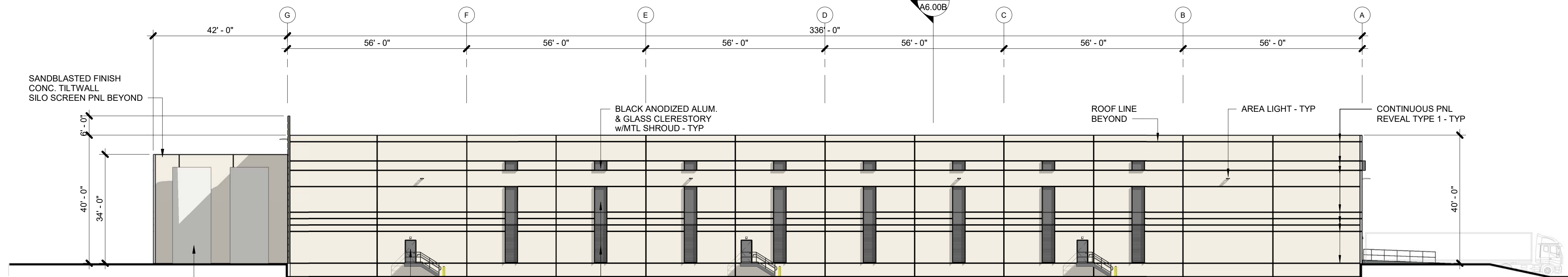
EAST ELEVATION - SECONDARY FACADE

1. WALL HEIGHT = 46'-0"	80' - 0" PROVIDED
2. WALL LENGTH = 3 x 46'-0" = 138'-0" MAX	40' - 0" PROVIDED
3. ENTRY / ARCH ELEMENT LENGTH = 15% x 80'-0" = 12'-0" MIN	42' - 0" PROVIDED
4. ENTRY / ARCH ELEMENT WIDTH = 15% x 46'-0" = 6'-10 13/16" MIN	12' - 0" PROVIDED
5. PROJECTION HEIGHT = 15% x 46'-0" = 6'-10 13/16" MIN	



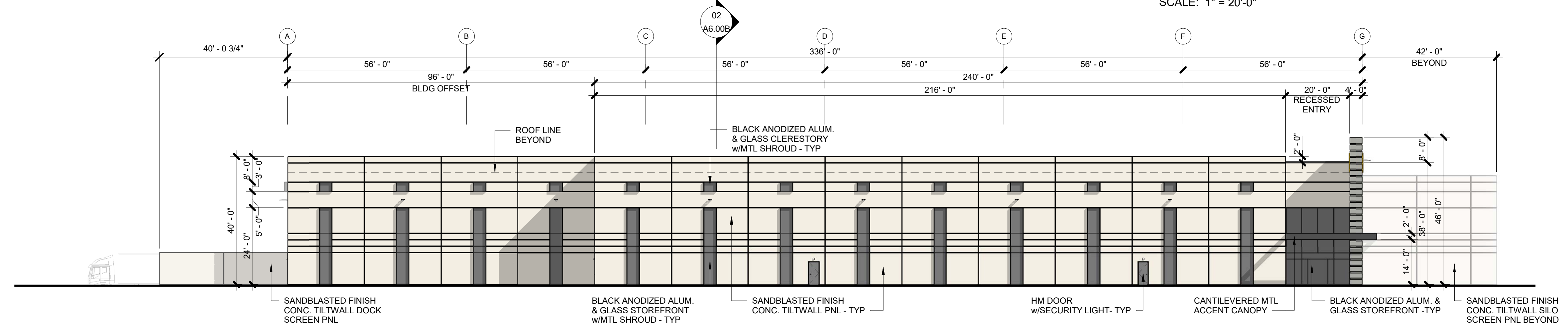
05 OVERALL SHELL FLOOR PLAN

SCALE: 1" = 30'-0"



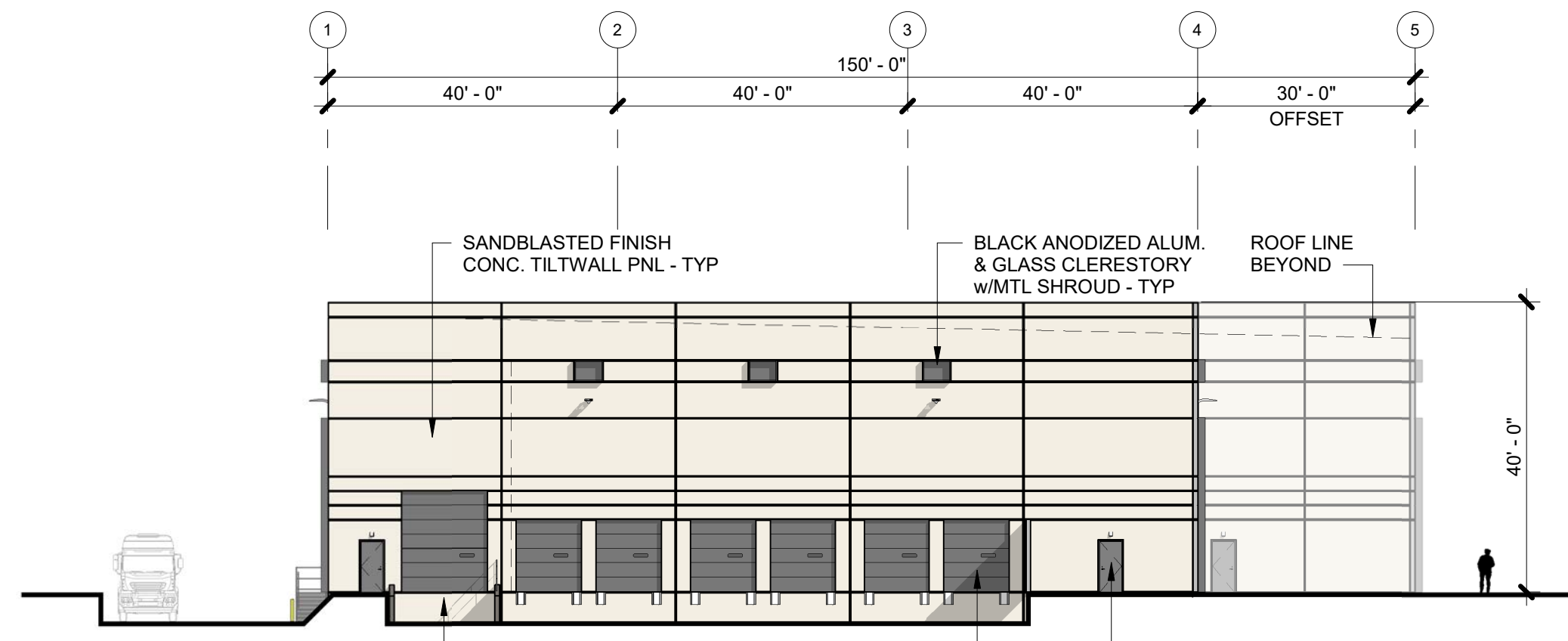
02 NORTH ELEVATION

SCALE: 1" = 20'-0"



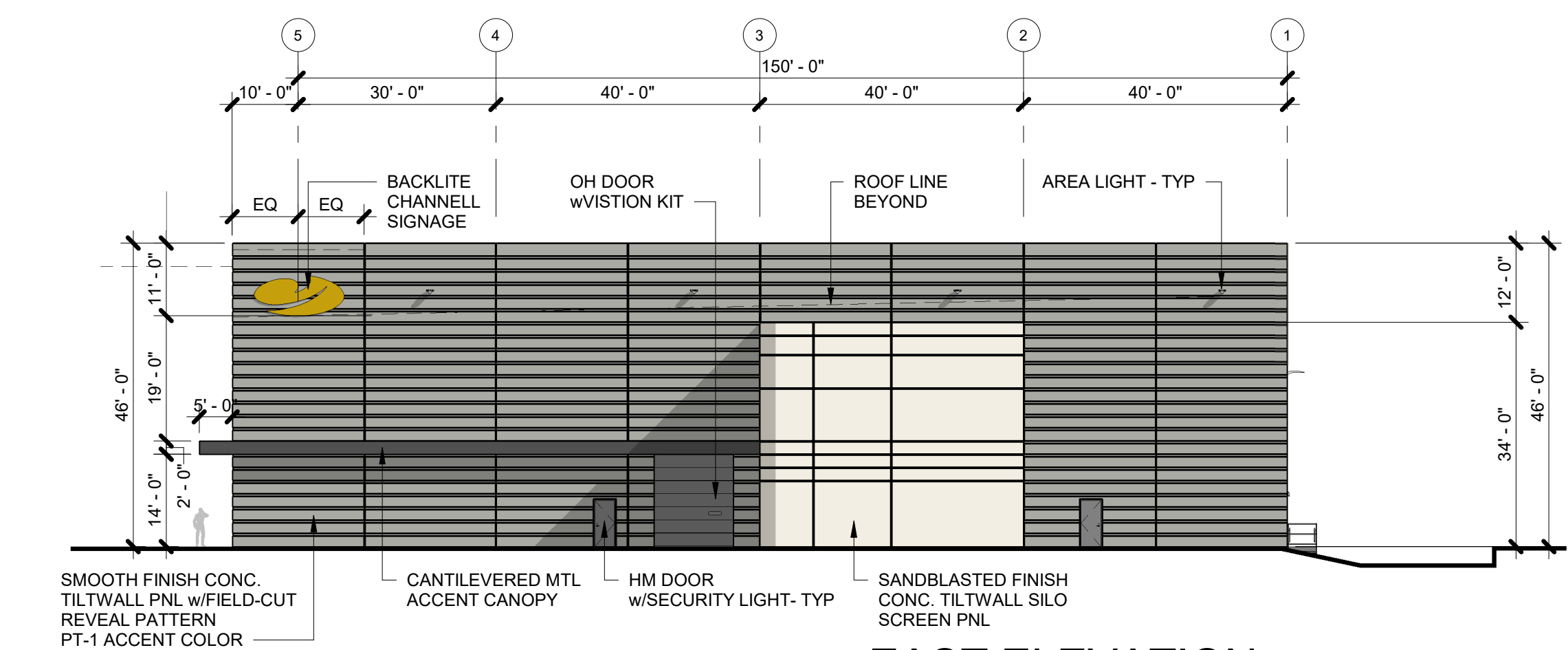
01 SOUTH ELEVATION

SCALE: 1" = 20'-0"



04 WEST ELEVATION

SCALE: 1" = 20'-0"



03 EAST ELEVATION

SCALE: 1" = 20'-0"

CASE # 22020-053

REVISIONS
1 P&Z COMMENTS #1 12.01.20

CHANNEL CAMPUS IMPROVEMENTS
1700 JUSTIN ROAD
ROCKWALL, TEXAS

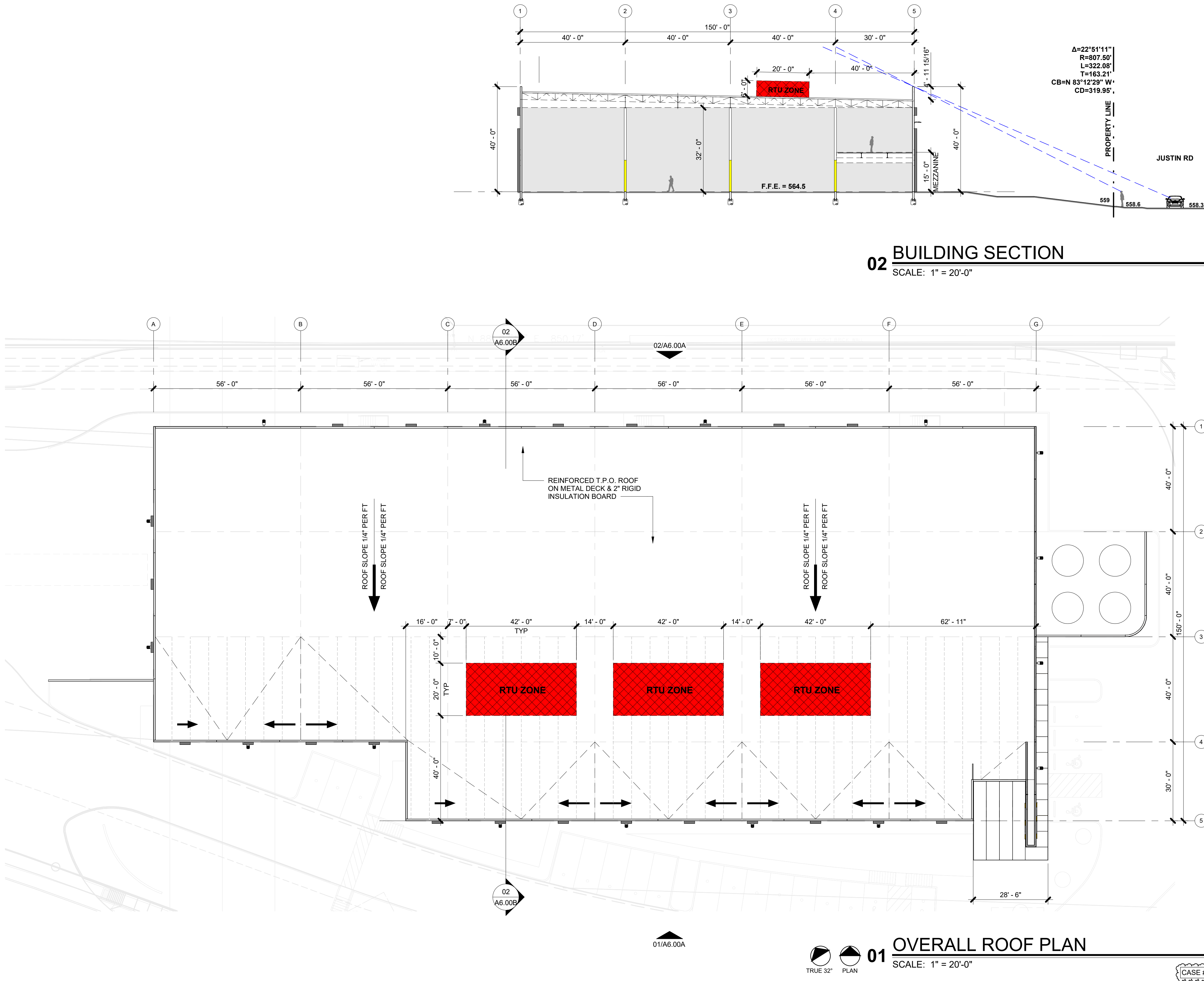
MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
1405 DALLAS PARKWAY
SUITE 400
DALLAS TEXAS 75204
P: 972.960.9900



PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: P&Z ELEVATIONS

A6.00A

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REVISIONS		
1	P&Z COMMENTS #1	12.01.20

CHANNEL CAMPUS IMPROVEMENTS
1700 JUSTIN ROAD
ROCKWALL, TEXAS

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
14415 DALLAS PARKWAY
SUITE 400
DALLAS TEXAS 75244
(214) 960-9900



PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: P&Z DIAGRAMS

A6.00B

CASE # 22020-053

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PROPOSED
FIBER FACILITY BTS
55,760 S.F.

CHANNELL CAMPUS IMPROVEMENTS
1700 JUSTIN ROAD
ROCKWALL, TEXAS

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
1440 DALLAS PARKWAY
SUITE 400
DALLAS TEXAS 75204
214.960.9900

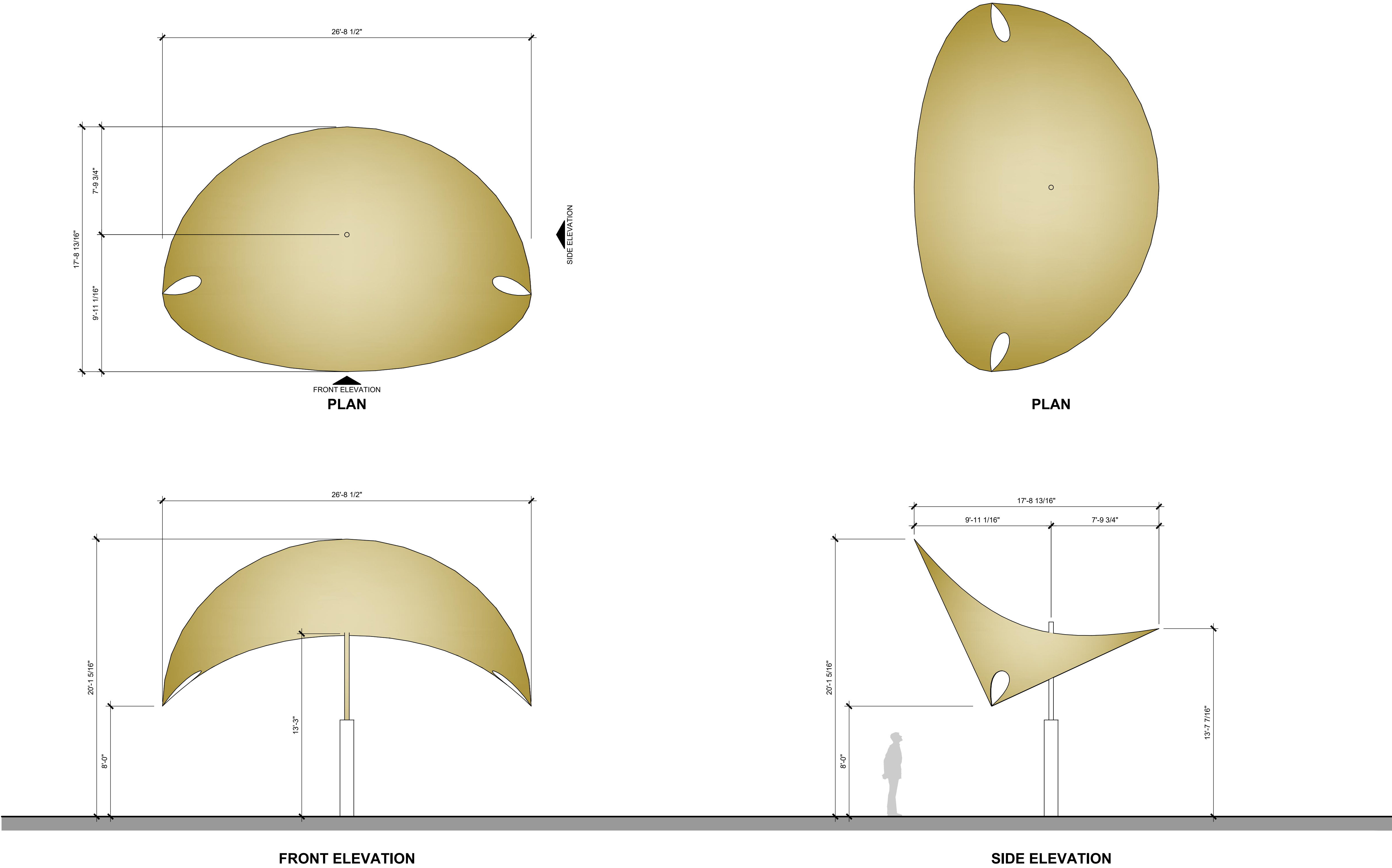


PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: P&Z VISUALIZATION

A6.00C

CASE # Z2020-053

\\WA-SERVER-02\Projects\MISC\20205-CHANNELL Corp\Cds Shell\205-Channel\Tensile.dwg, 12/17/2020 1:27:37 PM



01 **SMALL TENSILE**
SCALE: 1/4" = 1'-0"

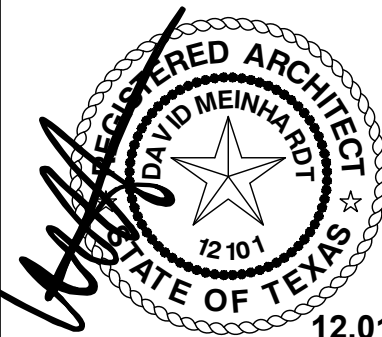
CASE # Z2020-053

REVISIONS:
1 P&Z COMMENTS #1 12.01.20

CHANNELL CAMPUS IMPROVEMENTS
1700 JUSTIN ROAD
ROCKWALL, TEXAS



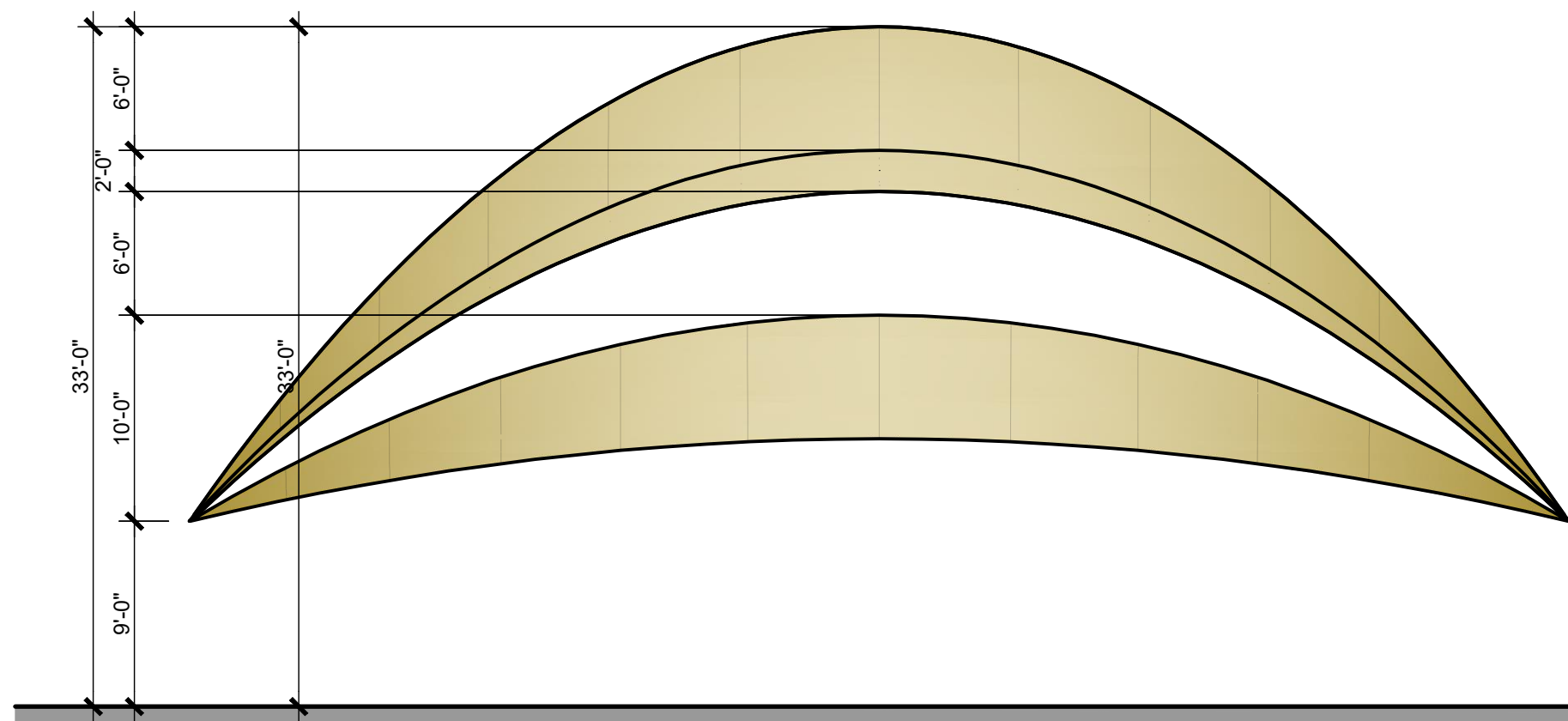
MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
1845 DALLAS PARKWAY
SUITE 400
DALLAS TEXAS 75254
409.886.8880



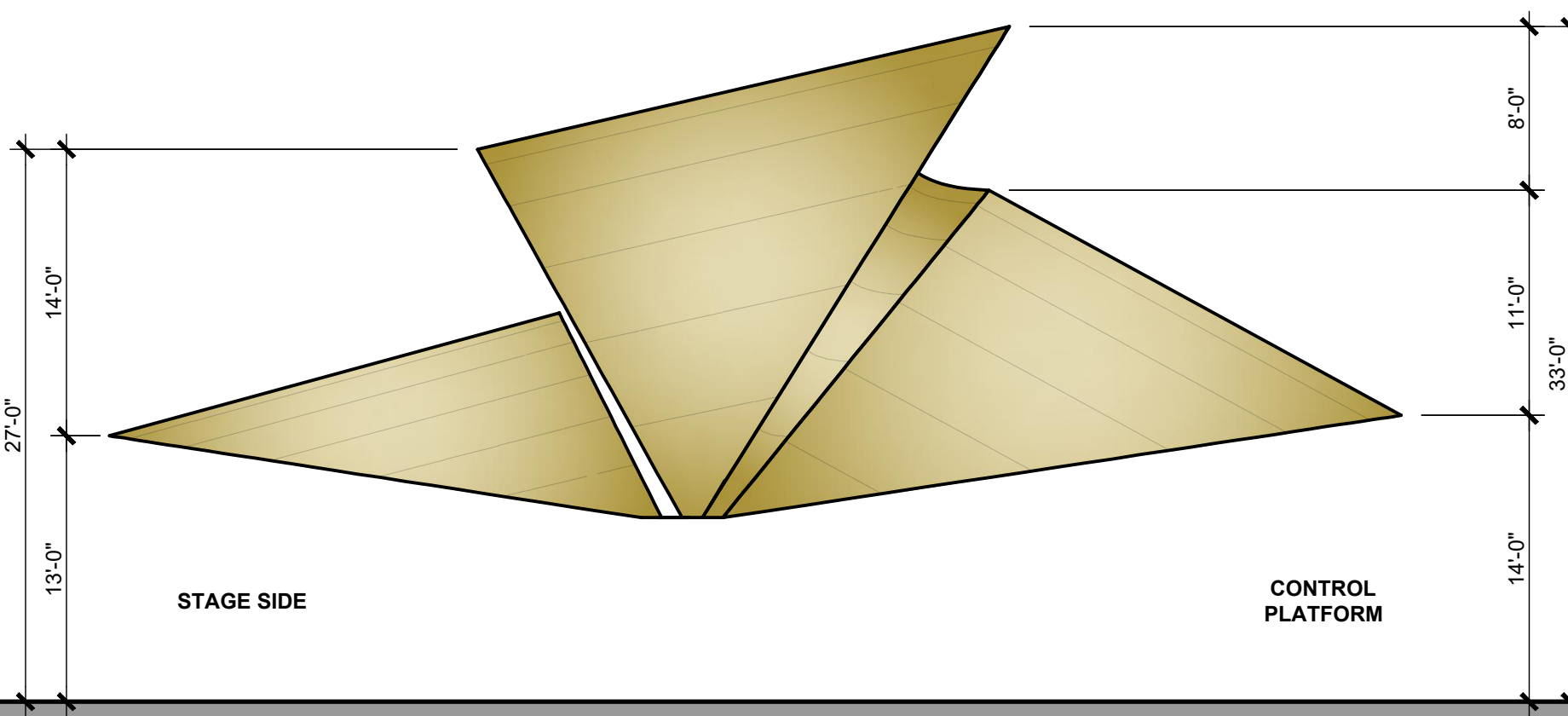
12.01.2020

PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: ---
SHEET: TENSILE CONCEPT

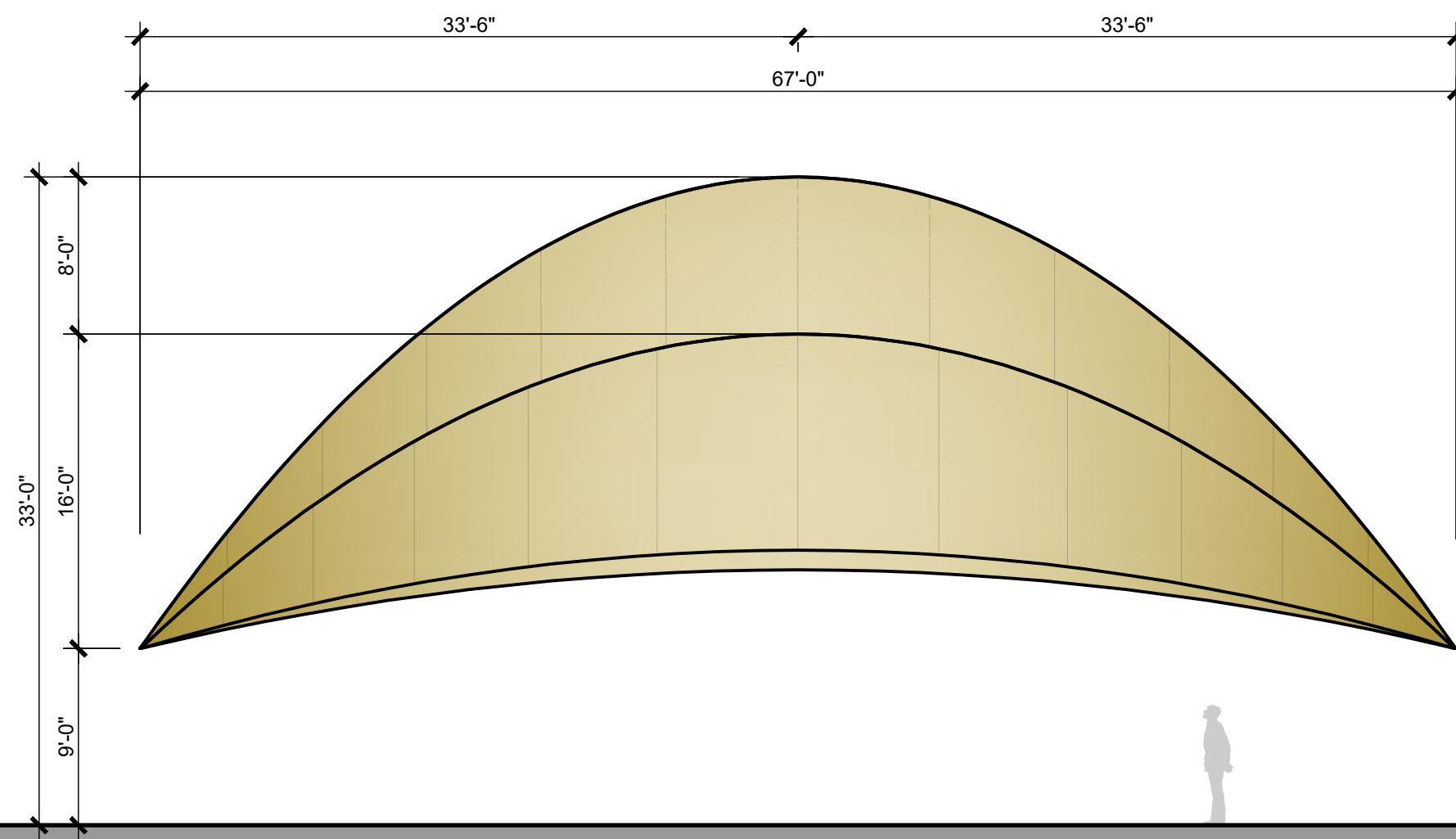
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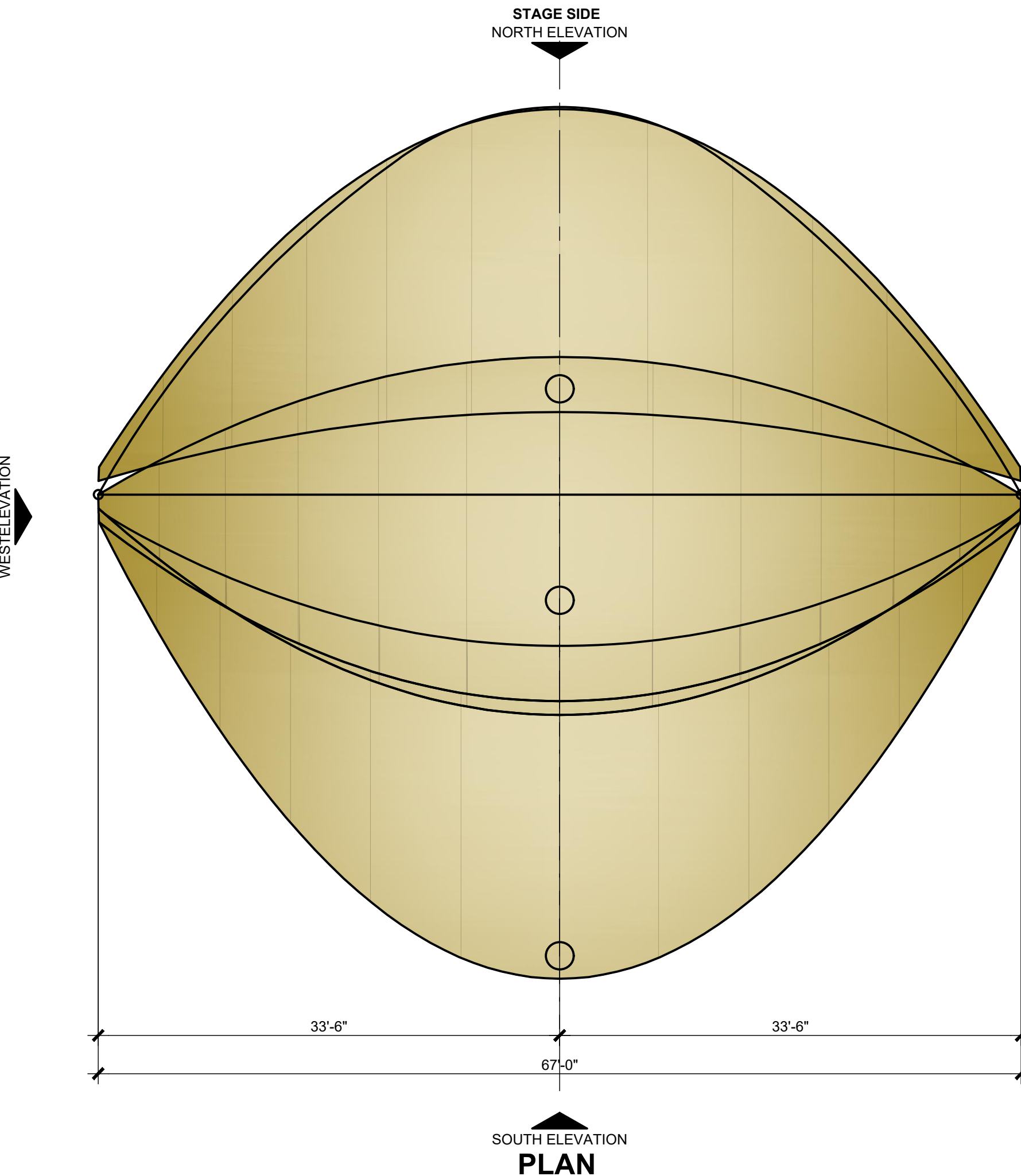
NORTH ELEVATION - OPEN



ELEVATION



SOUTH ELEVATION - CLOSED



PLAN

01 AMPHITHEATER TENSILE
SCALE: 1/8" = 1'-0"

REVISIONS:
1 P&Z COMMENTS #1 12.01.20

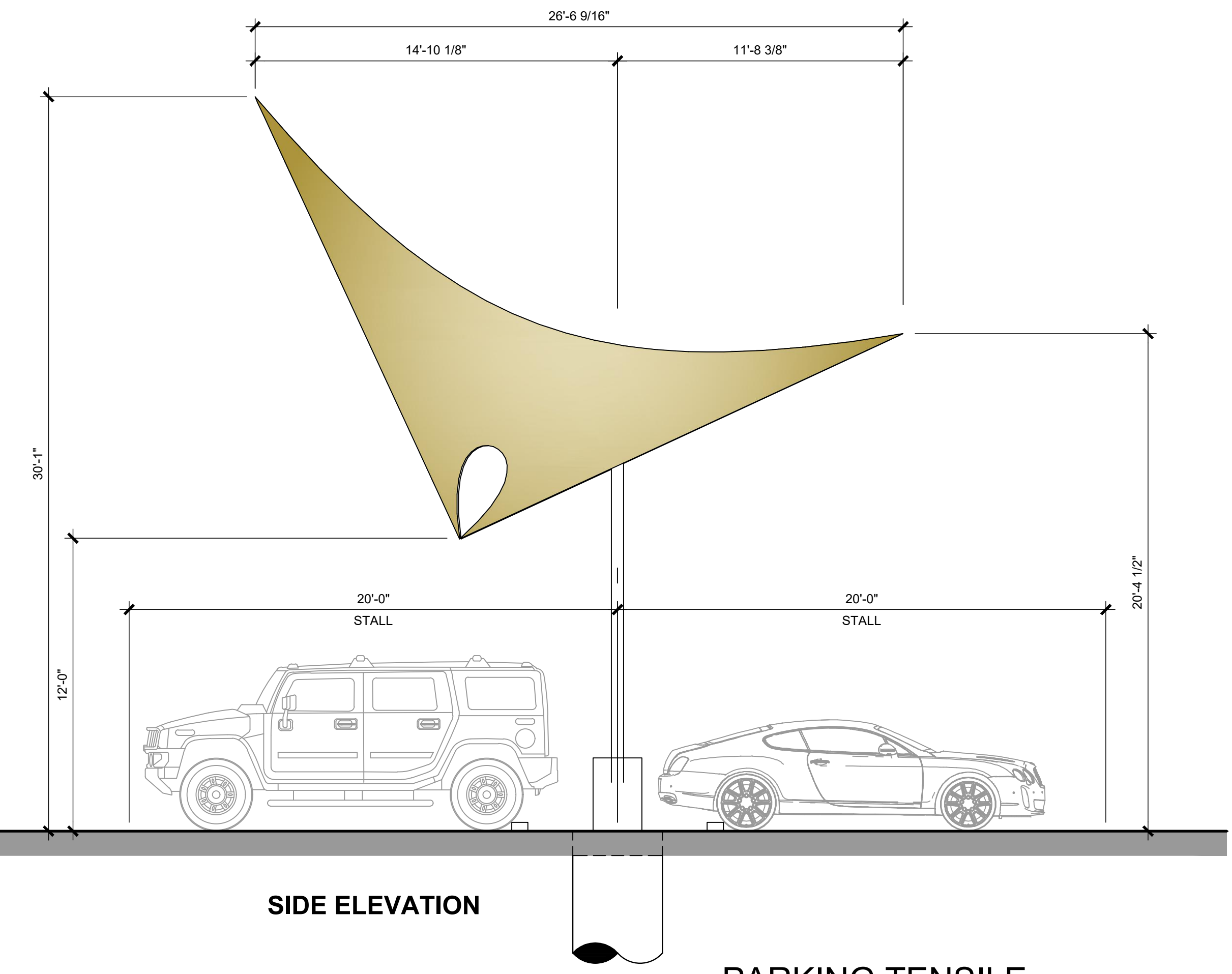
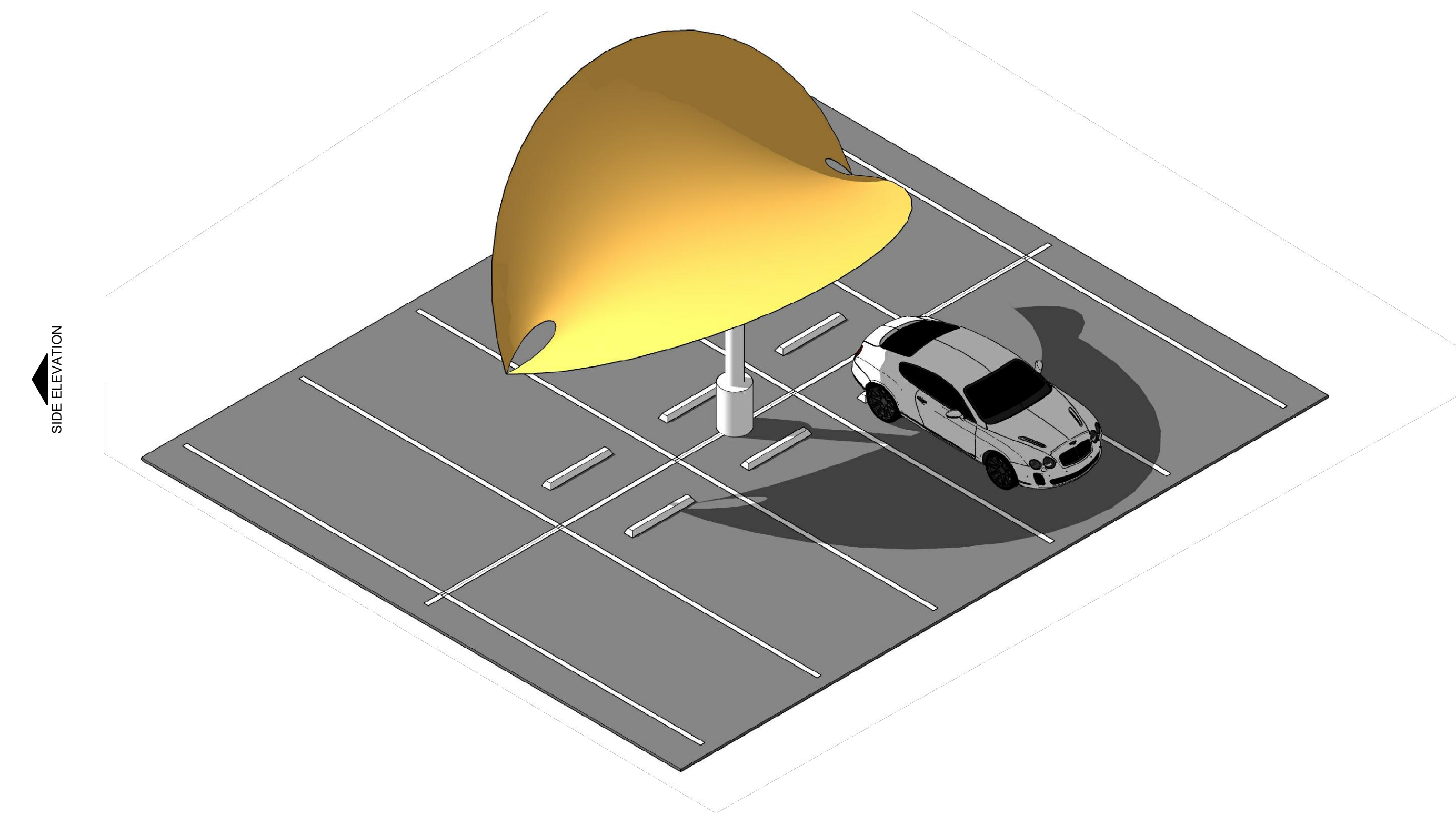
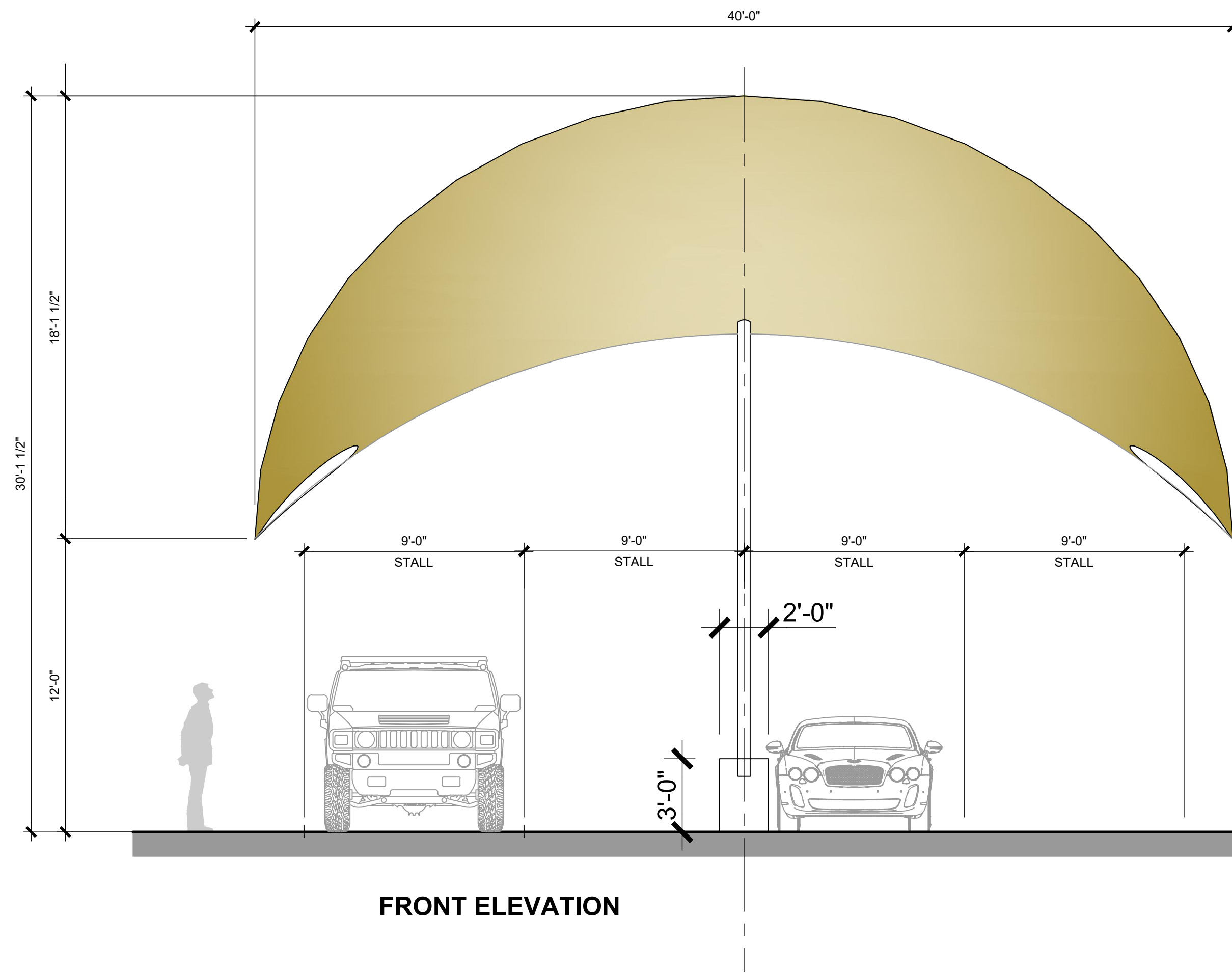
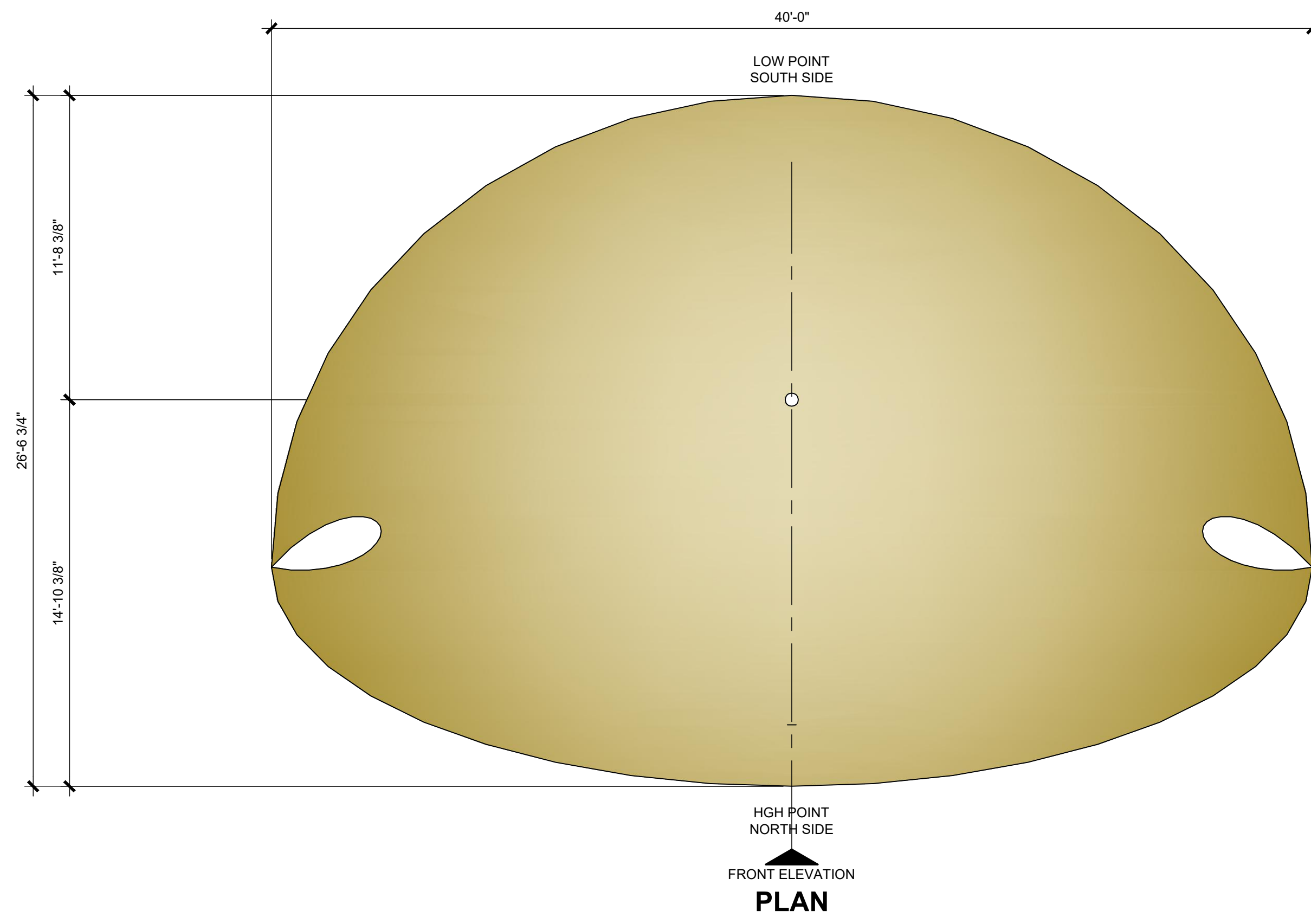
CHANNELL CAMPUS IMPROVEMENTS
ROCKWALL, TEXAS
1700 JUSTIN ROAD

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
14445 DALLAS PARKWAY
SUITE 100
DALLAS, TEXAS 75244
972.986.8888



PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: ---
SHEET: TENSILE CONCEPT

A9.01



01 PARKING TENSILE
SCALE: 1/4" = 1'-0"

REVISIONS:		
1	P&Z COMMENTS #1	12.01.20

CHANNELL CAMPUS IMPROVEMENTS

1700 JUSTIN ROAD
ROCKWALL, TEXAS

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
14445 DALLAS PARKWAY
SUITE 400
DALLAS, TEXAS 75244
(214) 390-8800

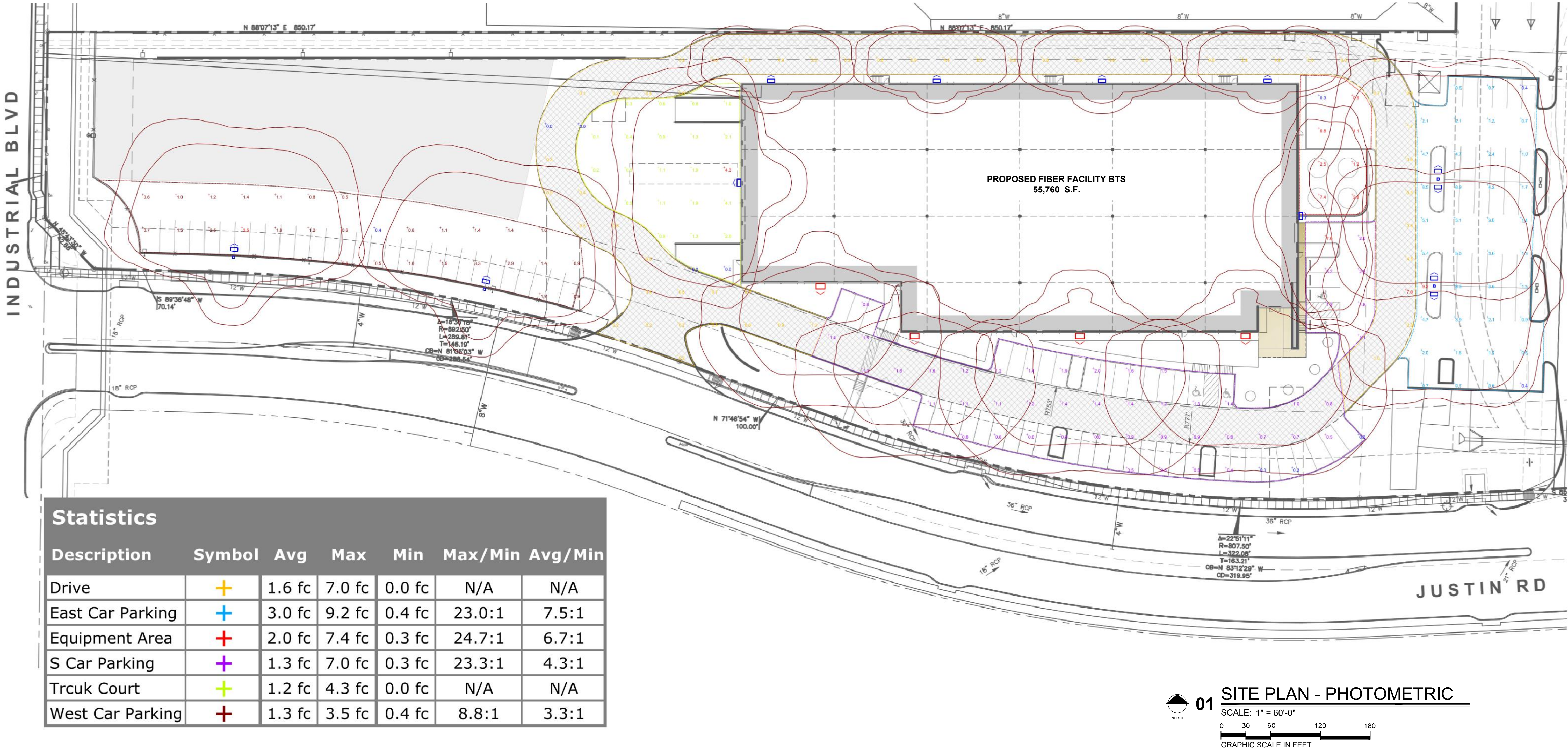


PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: ---
SHEET: TENSILE CONCEPT

A9.02

CASE # Z2020-053

\\WA-SERVER-02\Projects\MISC\2020\5-CHANNELL Corp\CDs Shell\205-A100 Series.dwg, 12/1/2020 12:27:05 PM



REVISIONS:
1 P&Z COMMENTS #1 12.01.20

CHANNELL CAMPUS IMPROVEMENTS
ROCKWALL, TEXAS
1700 JUSTIN ROAD

MEINHARDT & ASSOCIATES
ARCHITECTS, P.L.L.C.
1400 DALLAS PARKWAY
SUITE 400
DALLAS TEXAS 75244
972.986.0880

PROJECT NO: 20-205
DATE: 11.13.2020
DRAWN BY: DBC
CHECKED BY: DDM
SHEET: SITE PLAN - PHOTOMETRIC

12.01.2020

A9.03-E
CASE # Z2020-053



CHANNELL

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CHANNELL CAMPUS IMPROVEMENTS

1700 JUSTIN ROAD | ROCKWALL, TEXAS 75006



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A LIGHT INDUSTRIAL (LI) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR LIGHT INDUSTRIAL (LI) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 18.762-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK A, CHANNELL SUBDIVISION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by David Meinhardt of Meinhardt & Associates Architects on behalf of Ed Burke of Channell Commercial Corporation for the approval of a zoning change from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses, on a 18.762-acre parcel of land identified as Lot 3, Block A, Channell Commercial Corporation, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of any buildings on the *Subject Property* shall generally be in

accordance with the *Concept Building Elevations*, depicted in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of an amphitheater on the *Subject Property* shall generally be in accordance with the *Concept Amphitheater Plan*, depicted in *Exhibit 'E'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That development of any shade canopies on the *Subject Property* shall generally be in accordance with the *Concept Canopy Plan*, depicted in *Exhibit 'F'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 6. That any landscaping planted or installed on the *Subject Property* shall generally be in accordance with the *Concept Landscape Plan*, depicted in *Exhibit 'G'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'G'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 7. That any lighting installed on the *Subject Property* shall generally be in accordance with the *Concept Photometric Plan*, depicted in *Exhibit 'H'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'H'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 8. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'I'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'I'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 9. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 10. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 11. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 12. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

Exhibit 'A':
Legal Description

DESCRIPTION, of an 18.762 acre tract of land situated in the Nathan Butler Survey, Abstract No. 20, the Archibald Hanna Survey, Abstract No. 99, and the David Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas; said tract being all of Lot 3, Block A, Channell Subdivision, an addition to the City of Rockwall, Texas according to the plat recorded in Instrument No. 20200000008947 of the Official Public Records of Rockwall County, Texas; said tract also being all of that certain tract of land described in Special Warranty Deed to Willcar Holdings LLC recorded in Instrument No. 20170000002016 of the Official Public Records of Rockwall County, Texas; said 18.762 acre tract being more particularly described as follows:

BEGINNING, at a 1/2-inch iron rod with "R.S.C.I. RPLS 5034" cap found for corner in the east right-of-way line of Industrial Boulevard (a 65-foot wide right-of-way); said point being the westernmost northwest corner of said Lot 2 and the southwest corner of Rockwall Industrial East, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet C, Slide 72 of said Plat Records;

THENCE, North 88 degrees, 07 minutes, 13 seconds East, departing the said east line of Industrial Boulevard and along the south line of said Rockwall Industrial East, a distance of 850.17 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner; said point being the southeast corner of said Rockwall Industrial East;

THENCE, North 01 degrees, 03 minutes, 38 seconds West, along the east line of said Rockwall Industrial East, a distance of 550.29 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner in the south right-of-way line of the UP/DALLAS GARLAND N.E. RAILROAD (a 100-foot wide right-of-way); said point being the northeast corner of said Rockwall Industrial East;

THENCE, along the said south line of the UP/DALLAS GARLAND N.E. RAILROAD, the following two (2) calls:

North 88 degrees, 10 minutes, 00 seconds East, a distance of 693.99 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point;

North 88 degrees, 16 minutes, 13 seconds East, a distance of 16.20 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the west right-of-way line of John King Boulevard (a 120-foot wide right-of-way);

THENCE, departing the said south line of the UP/DALLAS GARLAND N.E. RAILROAD and along the said west line of John King Boulevard, the following three (3) calls:

South 13 degrees, 13 minutes, 35 seconds East, a distance of 112.68 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a non-tangent curve to the left;

In a southeasterly direction, along said curve to the left, having a central angle of 17 degrees, 06 minutes, 33 seconds, a radius of 1,810.00 feet, a chord bearing and distance of South 21 degrees, 54 minutes, 26 seconds East, 538.48 feet, an arc distance of 540.49 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 30 degrees, 27 minutes, 42 seconds East, a distance of 46.15 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being at the northeast end of a circular right-of-way corner clip at the intersection of the said west line of John King Boulevard and the north right-of-way line of Justin Road (a variable width right-of-way) and the beginning of a non-tangent curve to the right;

THENCE, in a southwesterly direction, departing the said west line of John King Boulevard and along said corner clip and said curve to the right, having a central angle of 84 degrees, 24 minutes, 20 seconds, a radius of 29.50 feet, a chord bearing and distance of South 37 degrees, 35 minutes, 03 seconds West, 39.63 feet, an arc distance of 43.46 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the said north line of Justin Road; said point being at the southwest end of said corner clip;

Exhibit 'A':
Legal Description

THENCE, departing the said corner clip and along the said north line of Justin Road, the following fourteen (14) calls:

South 79 degrees, 47 minutes, 13 seconds West, a distance of 186.63 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at an angle point;

South 89 degrees, 47 minutes, 13 seconds West, a distance of 50.50 feet to a 1/2-inch iron rod with "CSC 4252" cap found for corner;

South 00 degrees, 38 minutes, 16 seconds East, a distance of 8.89 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner;

South 79 degrees, 47 minutes, 13 seconds West, a distance of 10.22 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner at the beginning of a tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 04 degrees, 26 minutes, 56 seconds, a radius of 904.50 feet, a chord bearing and distance of South 77 degrees, 33 minutes, 45 seconds West, 70.22 feet, an arc distance of 70.23 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner;

South 14 degrees, 39 minutes, 43 seconds East, a distance of 12.00 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being the beginning of a non-tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 00 degrees, 33 minutes, 04 seconds, a radius of 892.50 feet, a chord bearing and distance of South 75 degrees, 03 minutes, 45 seconds West, 8.58 feet, an arc distance of 8.58 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 74 degrees, 47 minutes, 13 seconds West, a distance of 191.98 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 10 degrees, 34 minutes, 42 seconds, a radius of 807.50 feet, a chord bearing and distance of South 80 degrees, 04 minutes, 34 seconds West, 148.87 feet, an arc distance of 149.09 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 85 degrees, 21 minutes, 55 seconds West, a distance of 325.98 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 22 degrees, 51 minutes, 11 seconds, a radius of 807.50 feet, a chord bearing and distance of North 83 degrees, 12 minutes, 29 seconds West, 319.95 feet, an arc distance of 322.08 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

North 71 degrees, 46 minutes, 54 seconds West, a distance of 100.00 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the beginning of a tangent curve to the left;

In a westerly direction, along said curve to the left, having a central angle of 18 degrees, 36 minutes, 18 seconds, a radius of 892.50 feet, a chord bearing and distance of North 81 degrees, 05 minutes, 03 seconds West, 288.54 feet, an arc distance of 289.81 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found at the end of said curve;

South 89 degrees, 36 minutes, 48 seconds West, a distance of 70.14 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner; said point being at the southeast end of a right-of-way

Exhibit 'A':
Legal Description

corner clip at the intersection of said north line of Justin Road with the said east line of Industrial Boulevard;

THENCE, North 45 degrees, 43 minutes, 30 seconds West, departing the said north line of Justin Road and along the said corner clip, a distance of 42.68 feet to a 1/2-inch iron rod with "WIER & ASSOC INC" cap found for corner in the said east line of Industrial Boulevard; said point being at the northwest end of said corner clip;

THENCE, North 01 degrees, 03 minutes, 48 seconds West, departing the said corner clip and along the said east line of Industrial Boulevard, a distance of 111.88 feet to the *POINT OF BEGINNING*;

CONTAINING, 817,294 square feet or 18.762 acres of land, more or less.

Lot 3, Block A, Channell Subdivision

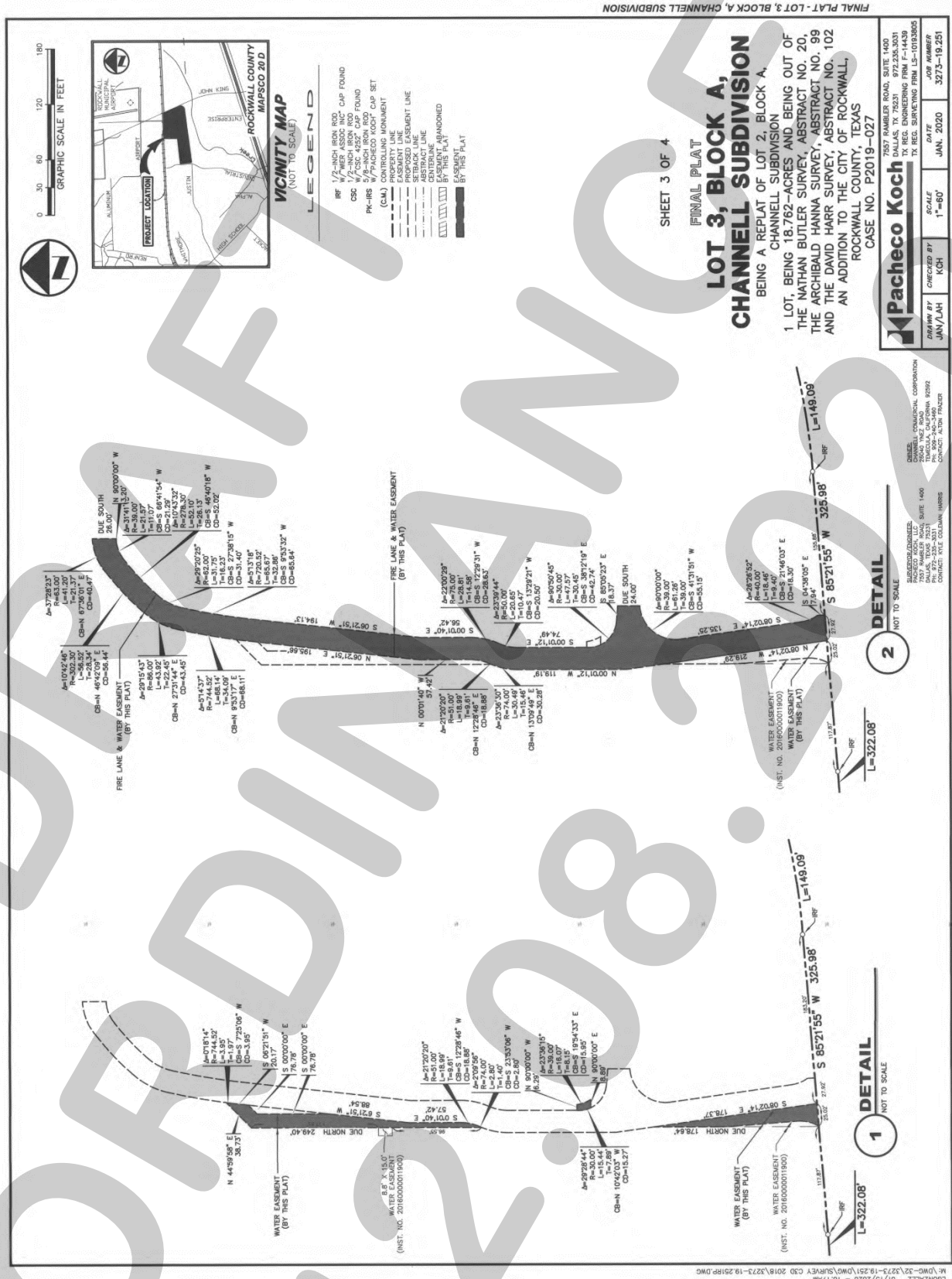


Exhibit 'C':
Concept Plan

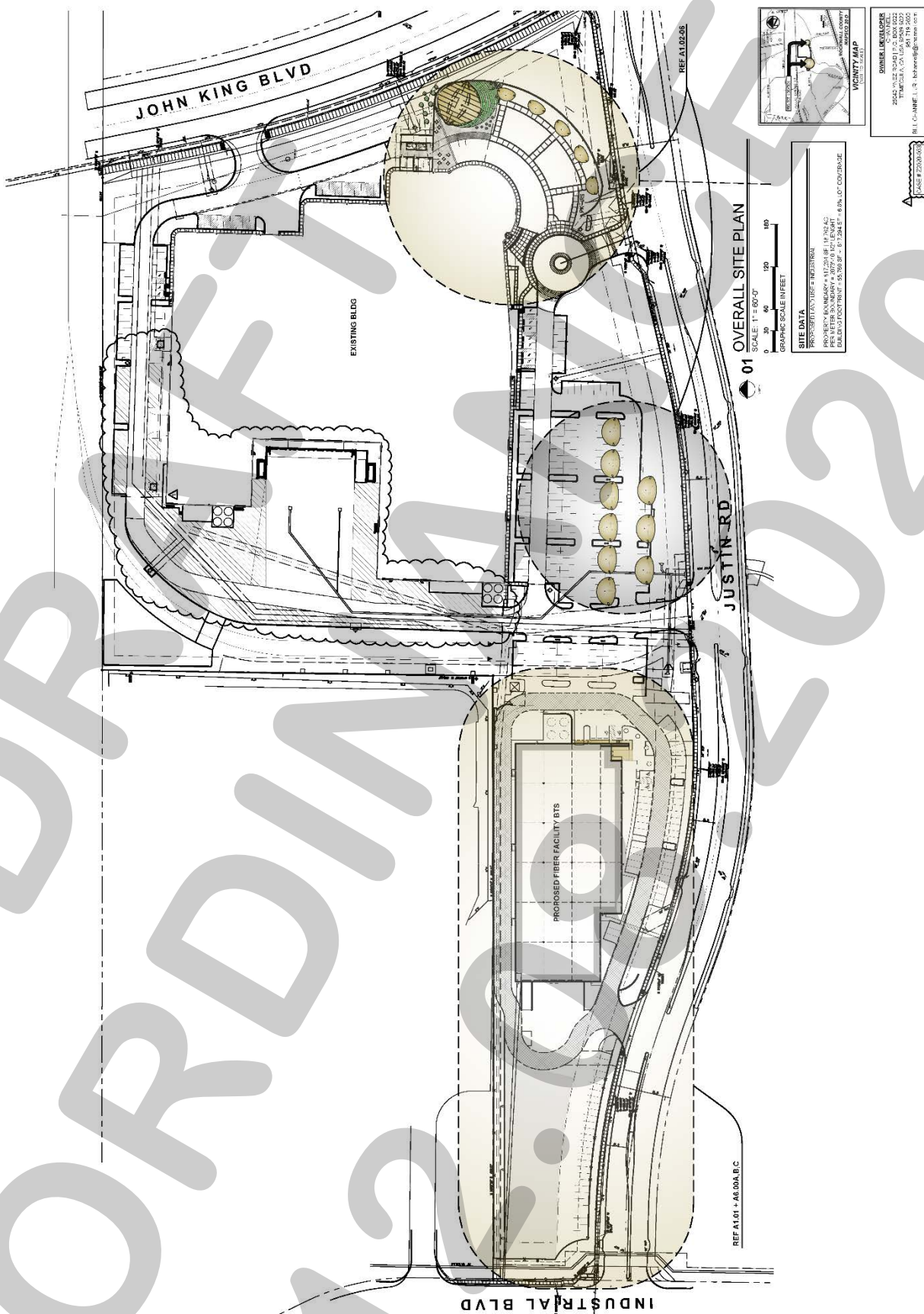


Exhibit 'C':
Concept Plan

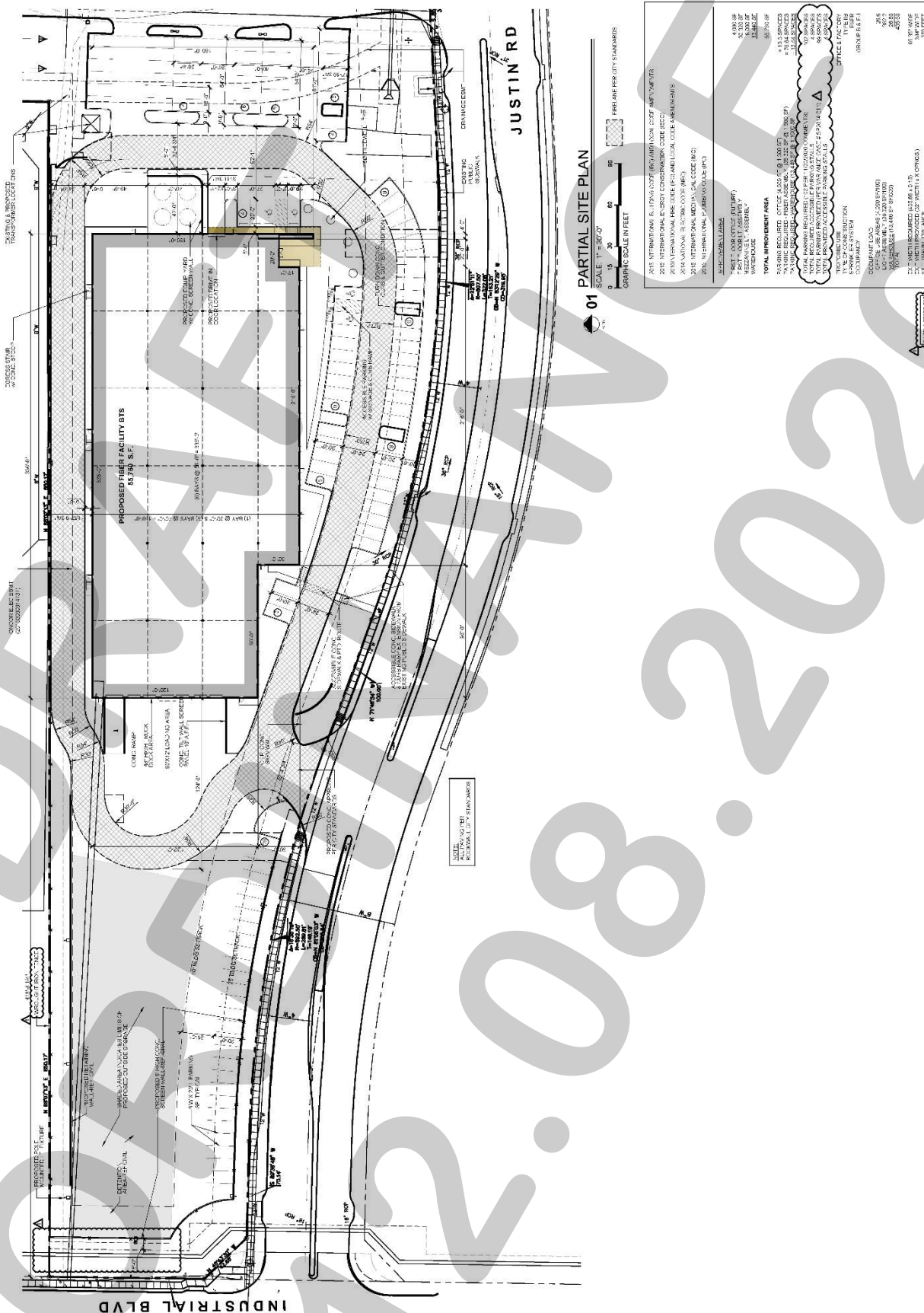


Exhibit 'C':
Concept Plan

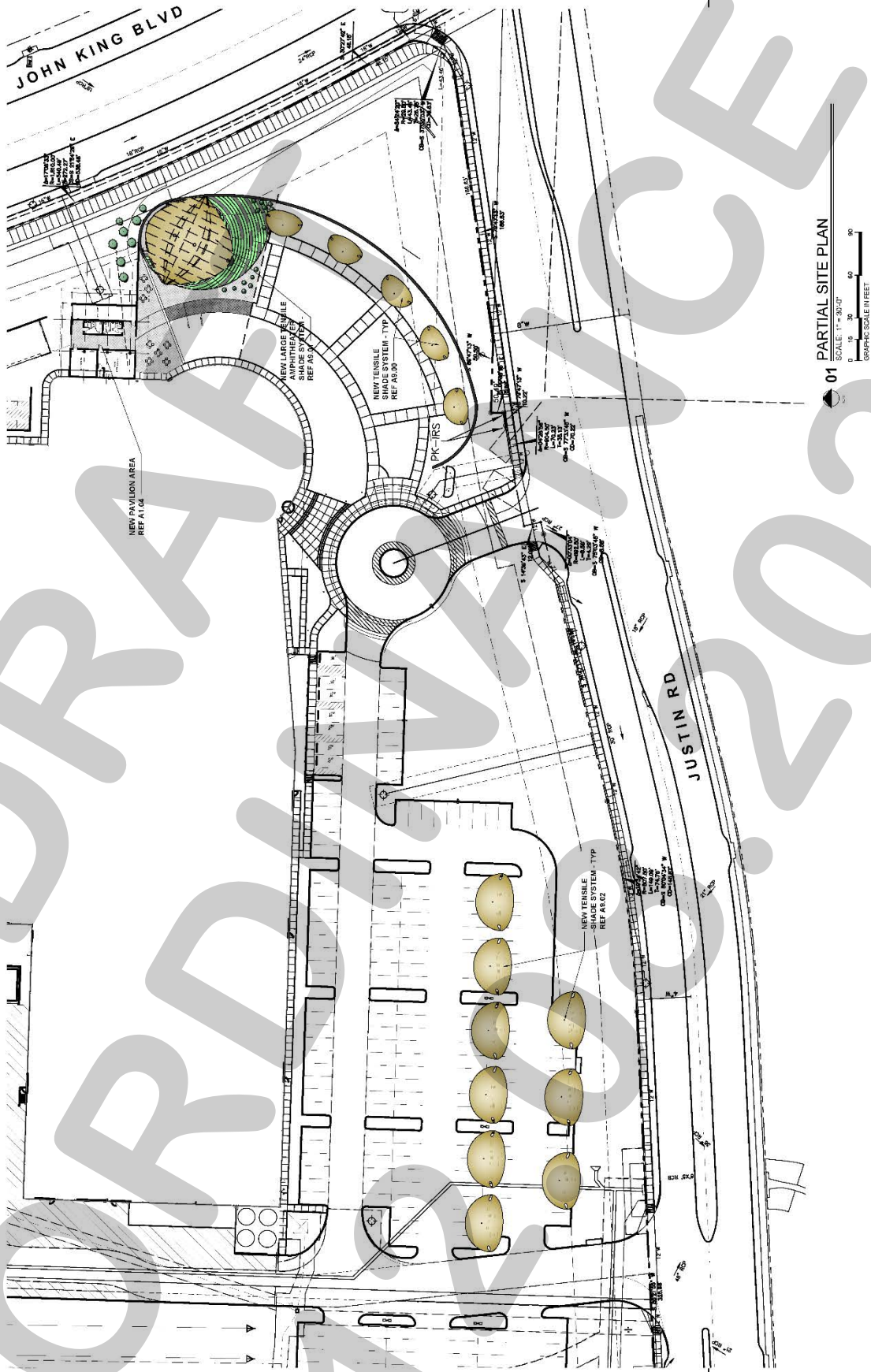
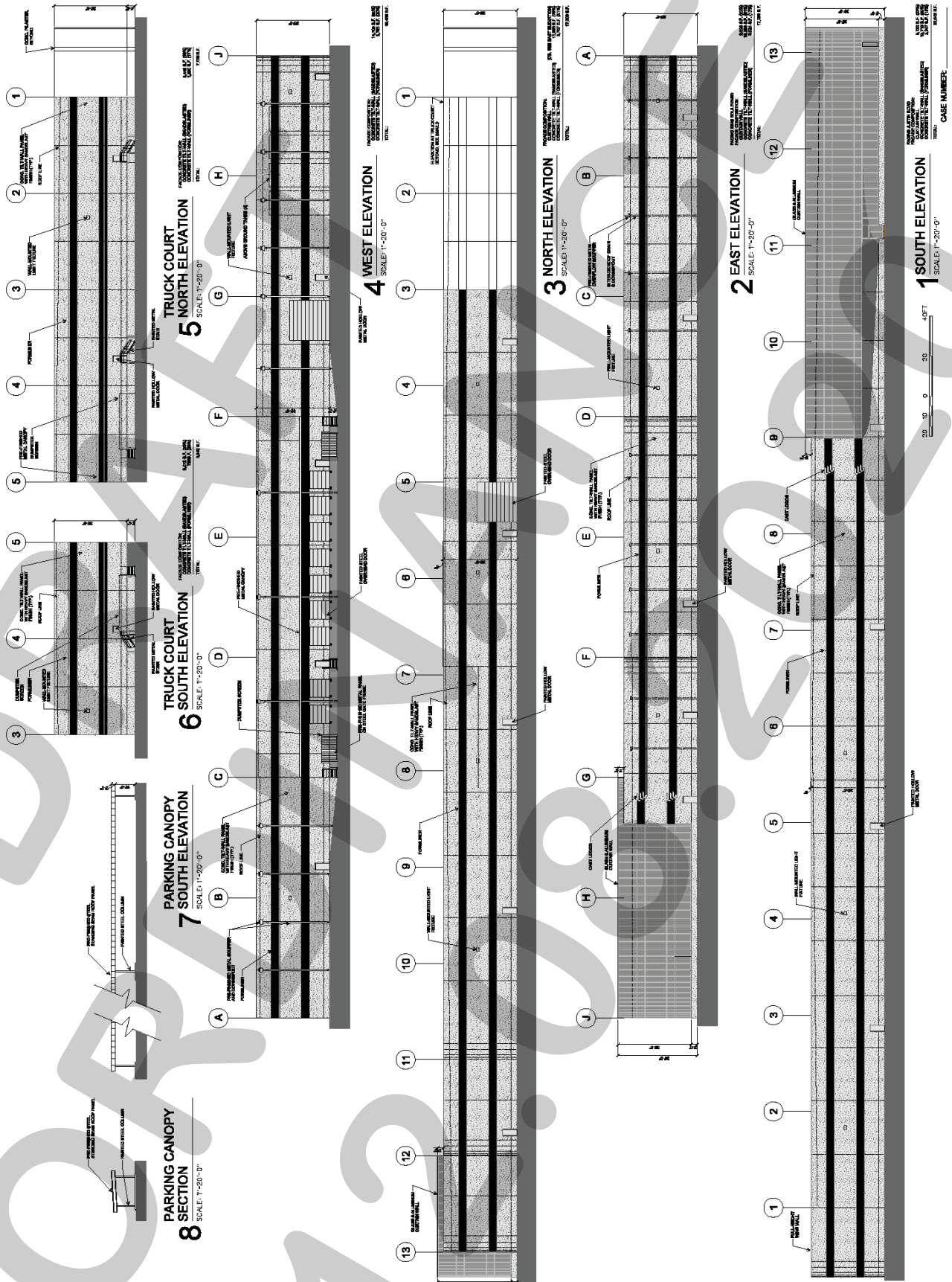
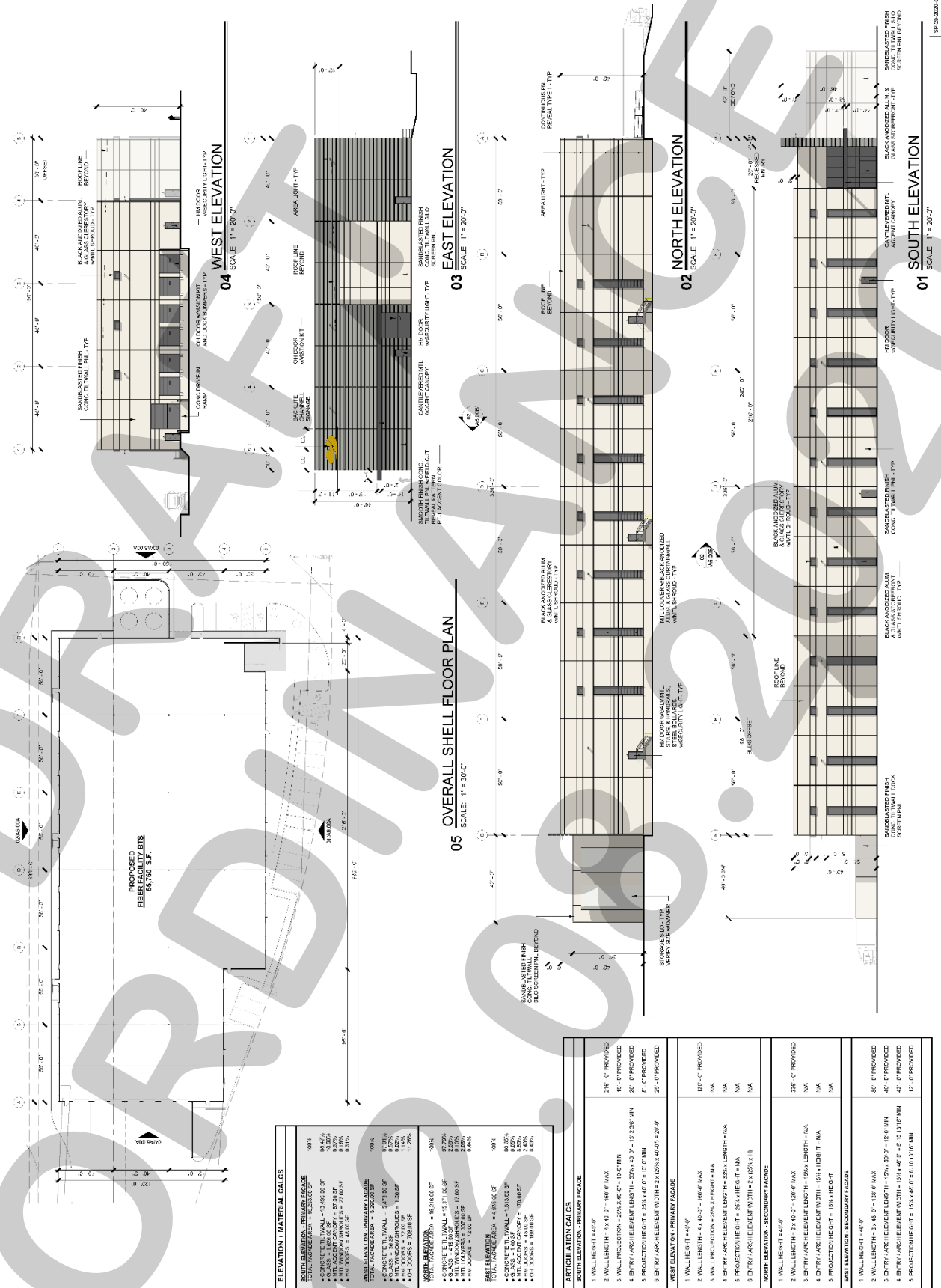


Exhibit 'D': Concept Building Elevations



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Ordinance No. 21-XX; PD-XX



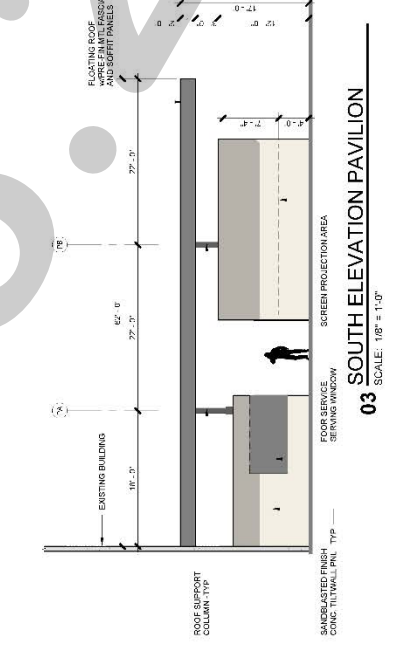


Exhibit 'D':
Concept Building Elevations



Exhibit 'D':
Concept Building Elevations



Exhibit 'E': Concept Amphitheater Plan

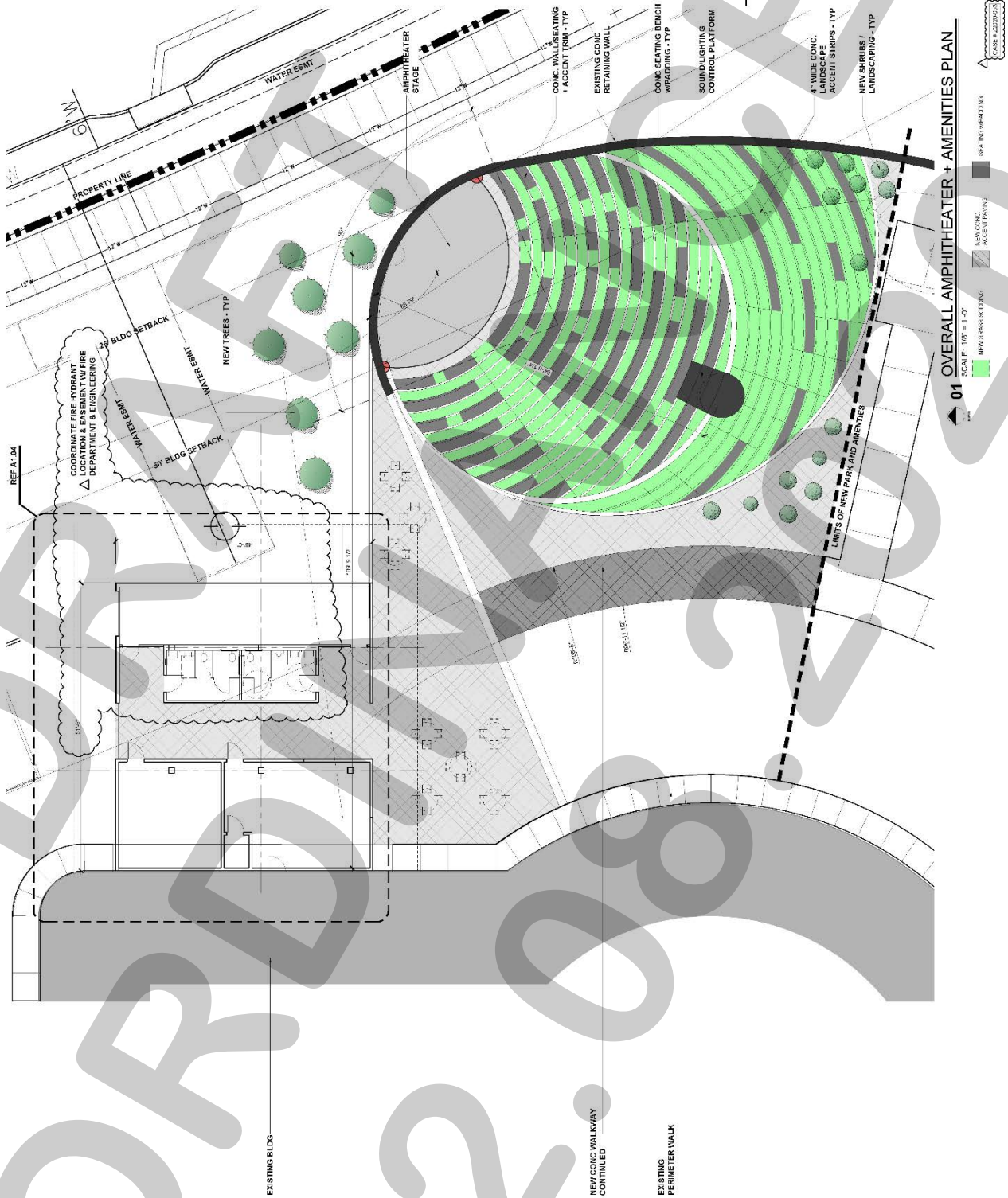
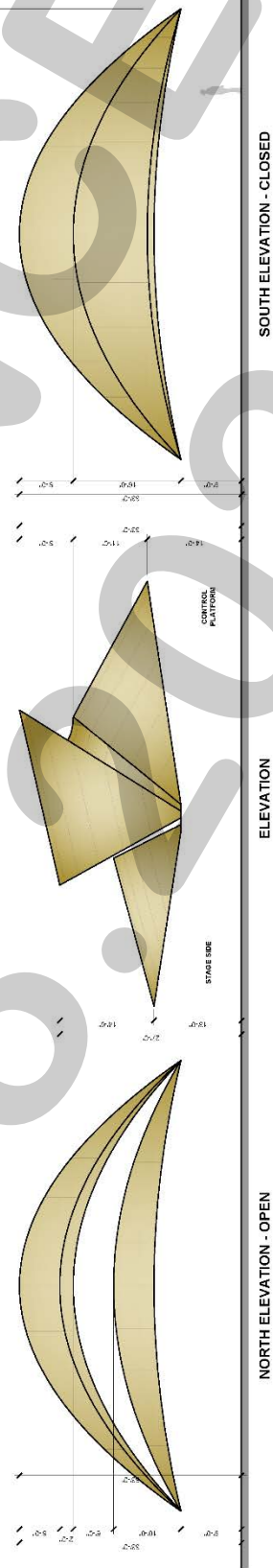
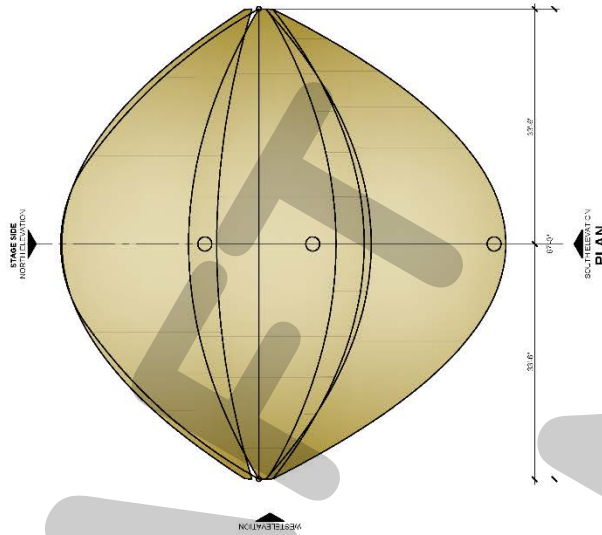


Exhibit 'E':
Concept Amphitheater Plan



Exhibit 'E':
Concept Amphitheater Plan

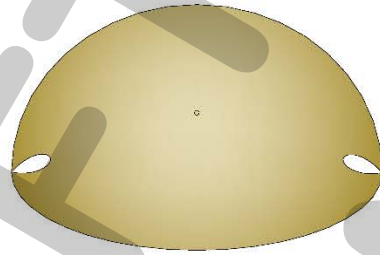


01 AMPHITHEATER TENSILE

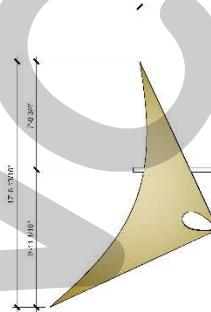
SCALE: 1/8" = 1'-0"

13-2-2006-27

Exhibit 'F':
Concept Canopy Plan



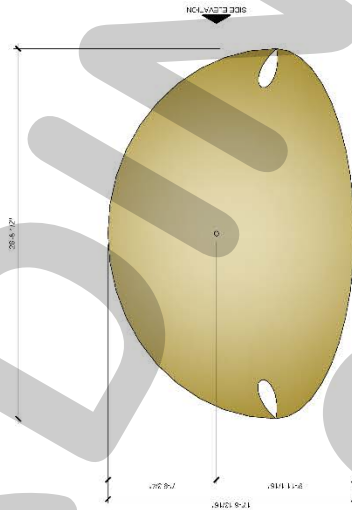
PLAN



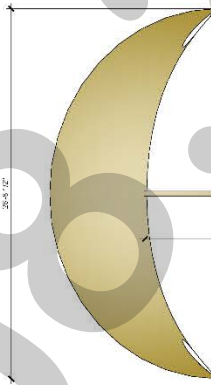
SIDE ELEVATION

01 SMALL TENSILE
 SCALE: 1/4" = 1'-0"

8/25/2020/21

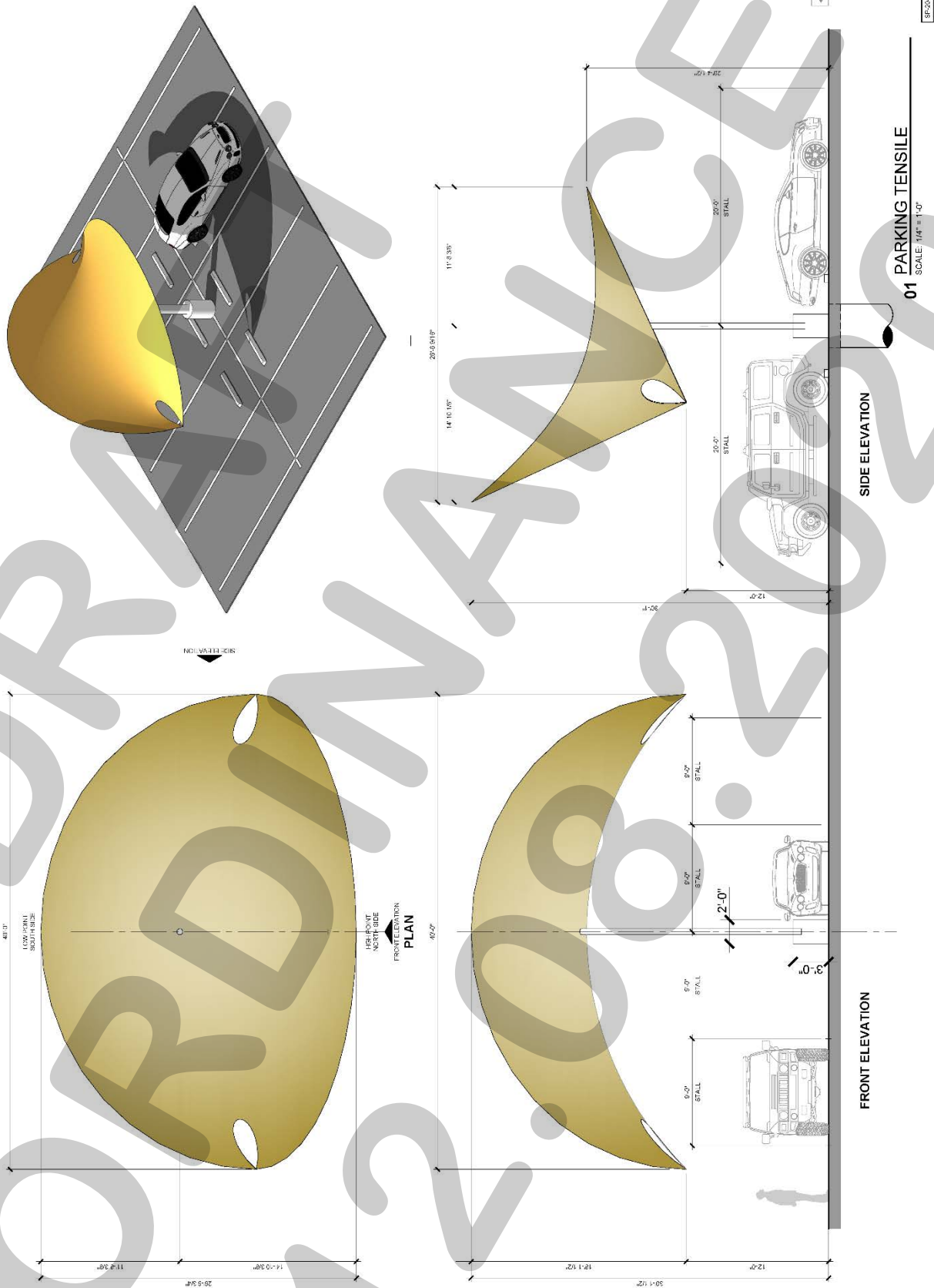


PLAN



FRONT ELEVATION

Exhibit 'F':
Concept Canopy Plan



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Ordinance No. 21-XX; PD-XX

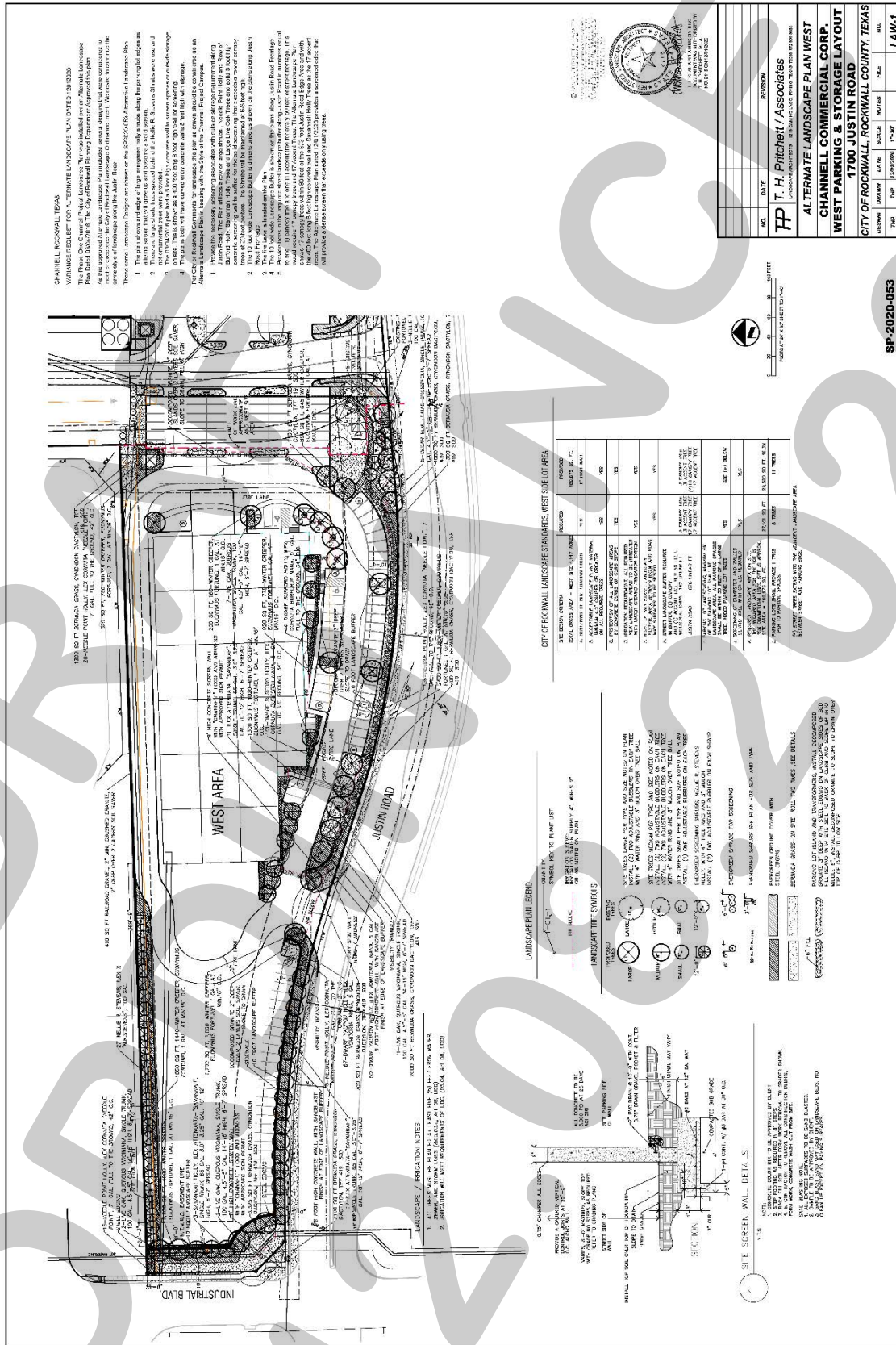


Exhibit 'G': Concept Landscape Plan

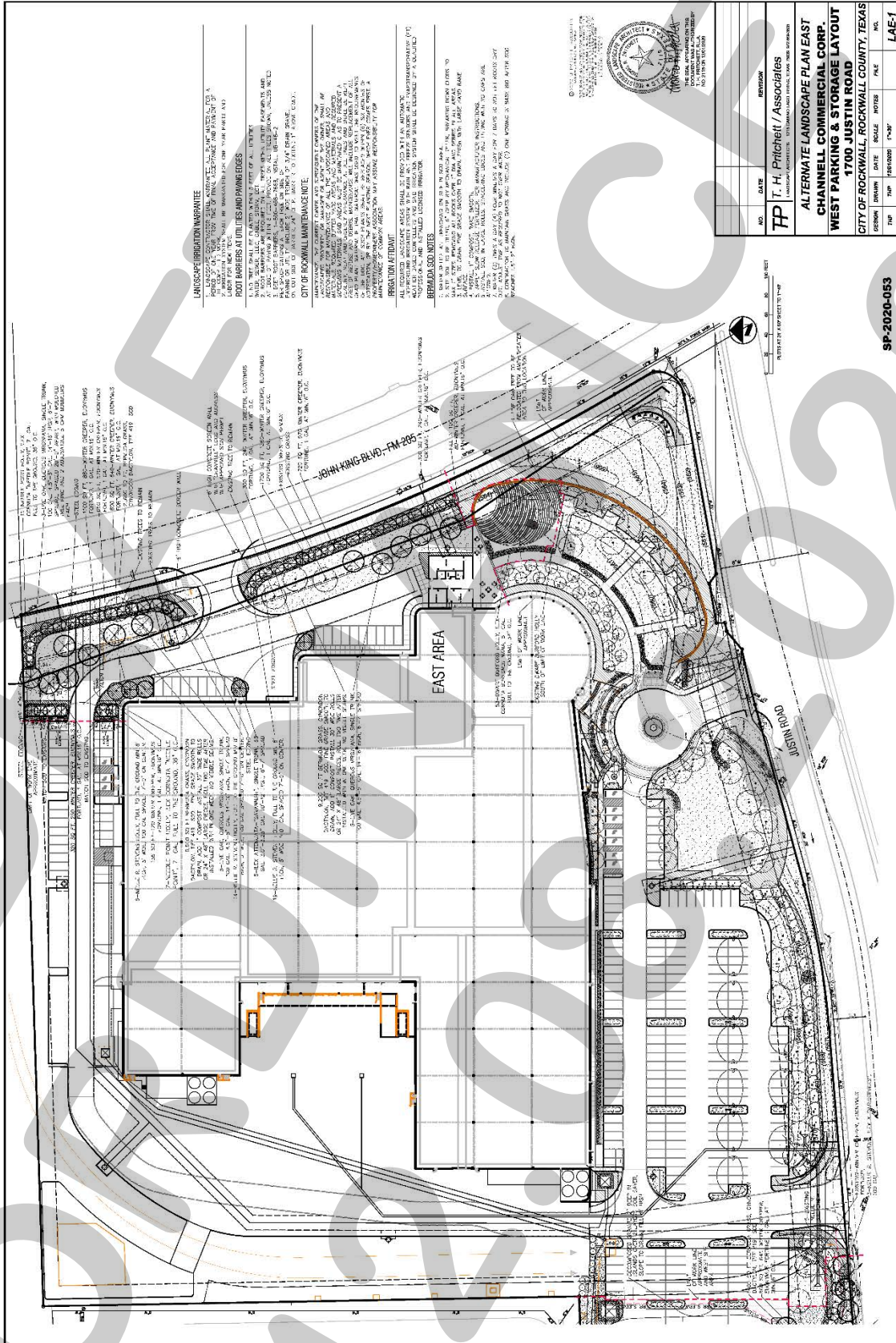


Exhibit 'H':
Concept Photometric Plan

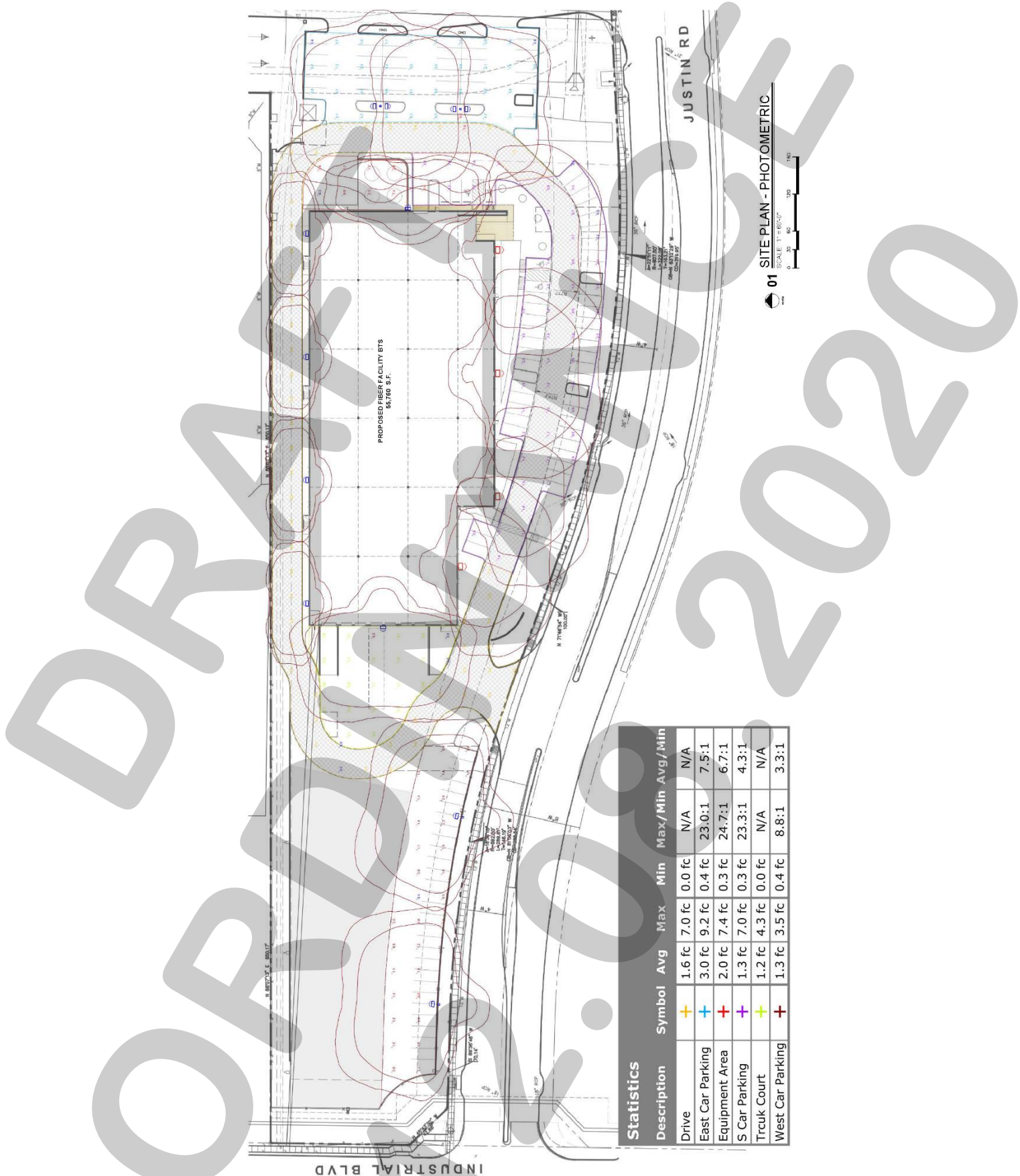


Exhibit 'I':
Density and Development Standards

I.1 Purpose.

The purpose of this Planned Development District ordinance is to provide flexible design standards to accommodate an industrial campus that incorporates unique architecture and land uses that are otherwise not permitted in the Light Industrial (LI) District. These land uses include an industrial facility with corporate offices, a distribution center, a light assembly center, an amphitheater and pavilion, and outside storage.

I.2 Review Process.

All development on the *Subject Property* shall require site plan approval in accordance with Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Upon submittal of a site plan, the Director of Planning and Zoning shall review the application and determine the following: [1] if the Director of Planning and Zoning determines that the site plan does generally conform to this Planned Development District ordinance then the site plan may be reviewed and approved administratively, or [2] if the Director of Planning and Zoning determines that the site plan does not generally conform to this Planned Development District ordinance then the site plan will be subject to review by the Architectural Review Board (ARB) *[if necessary]*, and the Planning and Zoning Commission.

I.3 Planned Development District Standards.

- (1) Permitted Uses. Unless specifically provided for by this Planned Development District ordinance, only those uses permitted within the Light Industrial (LI) District and the SH-205 By-Pass Overlay (SH-205 BY OV) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Development Standards. Unless specifically provided for by this Planned Development District ordinance, the development standards required for property in a Light Industrial (LI) District and the SH-205 By-Pass Overlay (SH-205 BY OV) District, as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), are applicable to any development on the *Subject Property*.
 - (a) Setbacks. The building setbacks shall be as stated by the Unified Development Code (UDC); however, the following exceptions shall be permitted:
 - (1) Justin Road. Concrete screening walls shall be permitted to be located a minimum of ten (10) feet from the property line adjacent to Justin Road; however, these screening walls shall not be located within 50-feet of John King Boulevard *[unless permitted to do so be I.3(2)(a)(2) below]*.
 - (2) John King Boulevard. Concrete screening walls and other appurtenances associated with the amphitheater may be located within 20-feet of the property line adjacent to John King Boulevard.
 - (b) Materials. All materials shall generally conform to the materials depicted in the *Concept Building Elevations* contained in *Exhibit 'D'* of this Planned Development District ordinance; however, tilt-up walls with a sandblasted finish shall be permitted *by-right* on buildings and screening walls in conformance with all concept

Exhibit 'I':
Density and Development Standards

plans contained in *Exhibits 'C' – 'H'* of this Planned Development District ordinance.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: December 8, 2020

APPLICANT: Corky Belanger

CASE NUMBER: Z2020-054; *Specific Use Permit for an Accessory Building at 707 Parks Avenue*

SUMMARY

Hold a public hearing to discuss and consider a request by Corky Belanger for the approval of a Specific Use Permit from an accessory structure on a 0.161-acre parcel of land identified as Lot 9, Block C, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and take any action necessary.

BACKGROUND

The subject property is located within the Foree Subdivision, which was filed with Rockwall County on February 7, 1913. The 1934 Sanborn Maps -- *which are dated August 25, 1934* -- show the subject property as being vacant. According to the City's historic zoning maps the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. By May 16, 1983, this designation had changed to Single-Family 7 (SF-7) District. According to the Rockwall Central Appraisal District (RCAD), a ~946 SF single-family home and 32 SF covered porch was constructed on the subject property in 1995, a 64 SF deck was constructed in 2005, a 255 SF accessory building was constructed in 2000, and a 150 SF deck was constructed in 2018. According to the applicant the accessory building was removed from the subject property after it was damaged by storms in 2019.

PURPOSE

The property owner and applicant -- *Corky Belanger* -- is requesting the approval of a Specific Use Permit (SUP) to permit the construction of an accessory building that exceeds the maximum square footage permitted for accessory buildings as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 707 Parks Avenue. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are three (3) single-family homes (*i.e. 709 & 711 Parks Avenue and 512 Heath Street*) on three (3) parcels of land zoned Single-Family 7 (SF-7) District. Beyond this is Heath Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several homes zoned Single Family 7 (SF-7) District.

South: Directly south of the subject property are four (4) single-family homes (*i.e. 601, 605, 701, & 705 Parks Avenue*) on four (4) parcels of land zoned Single-Family 7 (SF-7) District. Beyond this is Lillian Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this are five (5) single-family homes (*i.e. 505, 507 & 509 Parks Avenue and 507 & 509 Williams Street*) on five (5) parcels of land zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is Parks Avenue, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are eight (8) single-family homes (*i.e. 602, 604, 606, 610, 702, 706, 708 & 714 Parks Avenue*) on eight (8) parcels of land zoned Single-Family 7 (SF-7) District. East of this is N. Clark Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is an unutilized alleyway right-of-way. Beyond this are eight (8) single-family homes (*i.e. 500, 502 & 504 Heath Street; 808 & 806 Austin Street; and, 501, 503 & 505 Cornelia Street*) on eight (8) parcels of land zoned Single-Family 7 (SF-7) District. Beyond this is Austin Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, survey, and framing plan requesting to permit a proposed 600 SF accessory building. The applicant has also indicated that the accessory building will have a 2:12 pitched roof, incorporate a single garage door, and have a total height of 11-feet 4-inches. Based on the framing plan the building footprint is 20' x 30' (*or 600 SF*). The exterior and roof of the accessory building will be clad with 26-gauge metal sheets. The proposed building will be situated at the rear of the subject property, adjacent to the southwestern property line, and be situated a minimum of three (3) feet from the rear property line and six (6) feet from the side yard property line.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a total of two (2) accessory buildings each being 144 SF in size or one (1) accessory building at 144 SF in size and one (1) detached garage at 625 SF in size. In addition, accessory buildings are limited to a maximum height of 15-feet and a minimum setback of three (3) feet from the rear property line and six (6) feet from the side property line. Accessory buildings are required to have a minimum of six (6) feet of separation from any other primary or accessory structure. This section of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)."

STAFF ANALYSIS

In this case, the applicant's request conforms with the setback and height requirements for accessory buildings; however, the proposed size of the accessory building exceeds the maximum permissible size by 456 SF. Staff performed a review of the aerial imagery of the homes in the surrounding area (*a total of 29 single-family homes are in this area*) and determined that there does not appear to be any accessory buildings in the area of a similar size as to what the applicant is proposing. Staff should also note that 21 of the 29 homes surveyed had accessory structures, with the largest accessory structure observed being a detached garage that is 528 SF. The average size of all accessory structures analyzed is 211 SF, and the average size of the accessory structures excluding detached garages is 153 SF. The applicant has also indicated the accessory structure will be completely enclosed behind a newly constructed 8-foot cedar fence issued by building permit No. BLD2020-1365. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On November 18, 2020, staff mailed 115 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes Homeowner's Association (HOA), which is the only HOA/Neighborhood Organizations that is within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this case memo was drafted, staff had not received any notices concerning the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for an accessory building that exceeds the maximum permissible size, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of the Specific Use Permit (SUP) ordinance; and
 - (b) The *Accessory Building* shall not exceed a maximum size of 600 SF; and
 - (c) The subject property shall not have more than one (1) accessory building.
- (2) The applicant will need to construct a concrete foundation that can support the proposed accessory structure; and
- (3) The applicant will need to apply for a building permit from the Building Inspections Department; and
- (4) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-054

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 207 PARKS AVE

Subdivision _____ Lot 9 Block C

General Location DOWNTOWN

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning RESIDENTIAL

Current Use /

Proposed Zoning RESIDENTIAL

Proposed Use /

Acreage _____ Lots [Current] _____ Lots [Proposed] _____

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner CORRY BELANGER

☐ Applicant _____

Contact Person CORRY BELANGER

Contact Person _____

Address 921 N. ALAMO RD

Address _____

City, State & Zip ROCKWALL TX 75087

City, State & Zip _____

Phone 561.531.2328

Phone _____

E-Mail CORRYWBELANGER@GMAIL

E-Mail _____

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is permitted by the copyright owner or its agent."

Given under my hand and seal of office on this the 13th day of November, 2020

Owner's Signature _____

Notary Public in and for the State of Texas

Ladonna Kaye Barnett



LADONNA KAYE BARNETT
My Notary ID # 125918649
Expires May 6, 2024

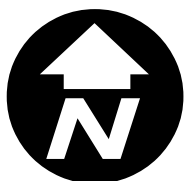
My Commission Expires May 6, 2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

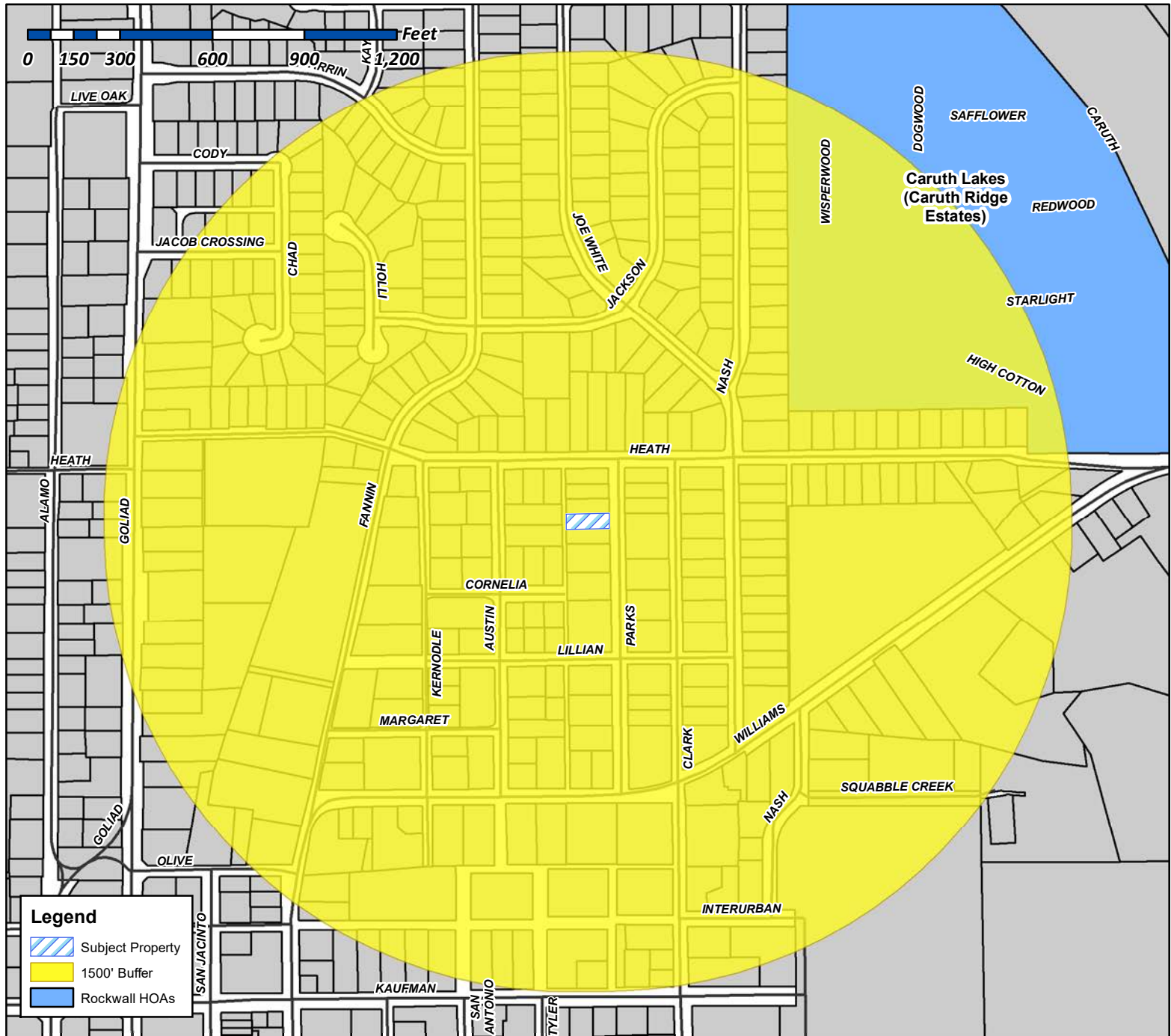




City of Rockwall

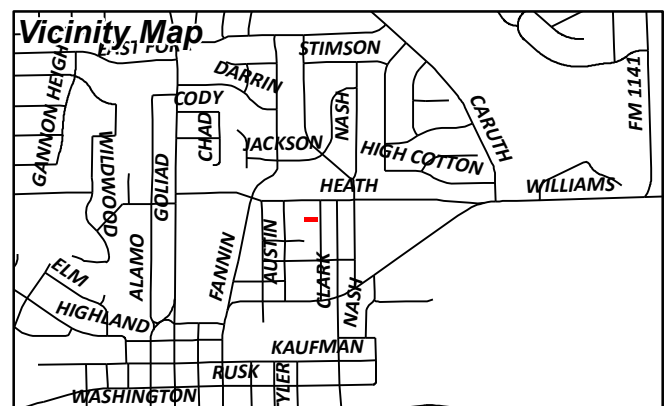
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-054
Case Name: SUP for an Accessory Structure
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 707 Parks Avenue

Date Created: 11/13/2020
For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Wednesday, November 18, 2020 2:30 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program
Attachments: HOA Map Z2020-054.pdf; Public Notice (11.17.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that was published in the Rockwall Herald Banner on Friday, November 20, 2020. The Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-054 Specific Use Permit for an Accessory Structure

Hold a public hearing to discuss and consider a request by Corky Belanger for the approval of a *Specific Use Permit* for an accessory structure on a 0.161-acre parcel of land identified as Lot 9, Block C, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

This email was scanned by Bitdefender

ROLAND RANDY C AND ANDREA B
101 JOE WHITE ST
ROCKWALL, TX 75087

GLASS JERRY R
103 JOE WHITE ST
ROCKWALL, TX 75087

SILVA MANUEL
1041 E FM 552
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
105 JOE WHITE ST
ROCKWALL, TX 75087

KRIZAN RASTISLAV
107 JOE WHITE
ROCKWALL, TX 75087

PEOPLES JIMMIE DALE
109 JOE WHITE ST
ROCKWALL, TX 75087

BREWER SHERI RENEE
119 SUNRISE VISTA WAY
PONTE VEDRA, FL 32081

LAWRENCE RUSSELL W AND KELLY D
12 AMITY LANE
ROCKWALL, TX 75087

SABRSULA MELISSA
1571 ANNA CADR RD
ROCKWALL, TX 75087

KINSEY DONALD H & TARI L
2 MANOR COURT
HEATH, TX 75032

HENRY AMANDA A
205 S CLARK
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

REDDEN POLLY PEOPLES
213 SOVEREIGN CT
ROCKWALL, TX 75032

PARK ALLEN
2301 LAFAYETTE DR
HEATH, TX 75032

BLAZEK ALVIN F & DOROTHY H
2614 W 10TH ST
DALLAS, TX 75211

GLASS JERRY R
301 MEADOWDALE DR
ROCKWALL, TX 75087

LASKY KRISTINE ELIZABETH
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

LUSK VIVIAN E AND
EARNEST TIPPING
401 EAST HEATH STREET
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
403EHEATH ST
ROCKWALL, TX 75087

PARK ALLEN
405EHEATHST
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D
500 E HEATH ST
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M
501 CORNELIA ST
ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN
501 LILLIAN ST
ROCKWALL, TX 75087

BARNETT GEORGE S
502 CORNELIA ST
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA
502 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
503 CORNELIA
ROCKWALL, TX 75087

AWAJA PROPERTIES LLC
503 LILLIAN ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
504 CORNELIA
ROCKWALL, TX 75087

TANTON MELVIN V JR
504 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TR
ROCKWALL, TX 75087

SCHMIDT JERRY LEE AND BARBARA JEAN
505 CORNELIA
ROCKWALL, TX 75087

BARRON GILDARDO
505 LILLIAN ST
ROCKWALL, TX 75087

VANHORN PENNI AND
JOE ZYLKA AND BONNIE ZYLKA
505 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
506 CORNELIA
ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE
506 LILLIAN ST
ROCKWALL, TX 75087

BUTLER JOSEPH DAVID AND ROSE LOUISE
507 NASH ST
ROCKWALL, TX 75087

DOROTIK DAVID W
509 PARKS AVE
ROCKWALL, TX 75087

REDDEN POLLY PEOPLES
509 E HEATH ST
ROCKWALL, TX 75087

RICHARDSON PATRICE
510 COVE RIDGE RD
HEATH, TX 75032

ALLEGRETTO RICHARD JR AND SARAH ANN
510 PARKS AVE
ROCKWALL, TX 75087

RICHARDSON PATRICE
511EHEATHST
ROCKWALL, TX 75087

COATS LOIS LOUISE
512 E HEATH ST
ROCKWALL, TX 75087

GREENAWALT PATRICK AND COURTNEY
513 E HEATH ST
ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH
601 PARKS AVE
ROCKWALL, TX 75087

STEGALL VENTURES LLC
601 SUNSET HILL DRIVE
ROCKWALL, TX 75087

STARK ROBERT C
601 E HEATH ST
ROCKWALL, TX 75087

LEAL ROLAND & CAROL
602 PARKS AVENUE
ROCKWALL, TX 75087

SUTTON JUDITH A
603 E HEATH ST
ROCKWALL, TX 75087

FUQUA MATTHEW
604 PARKS AVE
ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA
605 NASH ST
ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM
605 PARKS AVE
ROCKWALL, TX 75087

STARK ROBERT S & TINA J
605 E HEATH ST
ROCKWALL, TX 75087

DANIEL RODNEY
606 AUSTIN ST
ROCKWALL, TX 75087

GALASSI TORI D
606 NASH ST
ROCKWALL, TX 75087

WALLS JEFFREY V & NATALIE ANN
606 PARKS AVE
ROCKWALL, TX 75087

SPERLING SANDY
607 E HEATH ST
ROCKWALL, TX 75087

KINSEY TARI L AND DONALD H
607 NASH ST
ROCKWALL, TX 75087

STARK ROBERT S & TINA J
607 SAINT MARY ST
ROCKWALL, TX 75087

OGDEN BRANDON & LIDIA
608 NASH ST
ROCKWALL, TX 75087

TORRES ROSIE
609 NASH ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
610 NASH ST
ROCKWALL, TX 75087

CASTRO RENE & BETSY
700 WINDSONG LN
ROCKWALL, TX 75032

MOONEY BEULAH CHRISTINE
701 AUSTIN ST
ROCKWALL, TX 75087

BLAZEK ALVIN F & DOROTHY H
701 NASH ST
ROCKWALL, TX 75087

CASTILLO AGAPITO & ESTELA
701 PARKS AVE
ROCKWALL, TX 75087

KINSEY TARI L AND DONALD H
702 KERNODLE ST
ROCKWALL, TX 75087

TEMPLETON LORRAINE BIEGLER
702 NASH ST
ROCKWALL, TX 75087

HENRY AMANDA A
702 PARKS AVE
ROCKWALL, TX 75087

ELLISTON REBECCA S
703 NASH STREET
ROCKWALL, TX 75087

HANSON BRANDON R
703 PARKS AVE
ROCKWALL, TX 75087

FRASIER MICHAEL & MARY GRACE
704 JACKSON ST
ROCKWALL, TX 75087

THOMAS TRACY
704 KERNODLE ST
ROCKWALL, TX 75087

GRIFFIN PATTY JEAN CORNELIUS
704 NASH ST
ROCKWALL, TX 75087

RUSHING BRIAN AND
CHANEL KENTOPP
705 NASH ST
ROCKWALL, TX 75087

ZYLKA PENNI R
706 JACKSON ST
ROCKWALL, TX 75087

ARELLANO JESUS L &
CYNTHIA A HERRERA
706 NASH ST
ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN
706 PARKS AVE
ROCKWALL, TX 75087

MCCLAIN LOUETTA
707 NASH ST
ROCKWALL, TX 75087

BELANGER CORKY
707 PARKS AVE
ROCKWALL, TX 75087

LASKY KRISTINE ELIZABETH
708 JACKSON ST
ROCKWALL, TX 75087

SABRSULA MELISSA
708 NASH ST
ROCKWALL, TX 75087

KOLWINSKA GERALDINE D
708 PARKS AVE
ROCKWALL, TX 75087

BREWER SHERI RENEE
709 NASH ST
ROCKWALL, TX 75087

BARRON ARMANDO
709 PARKS AVE
ROCKWALL, TX 75087

STARK ROBERT C
710 AGAPE ST
ROCKWALL, TX 75087

KING MISTY
710 NASH STREET
ROCKWALL, TX 75087

NIXON ALBERT
711 PARKS AVE
ROCKWALL, TX 75087

PALMER LINDA C
714 PARKS AVE
ROCKWALL, TX 75087

BEASLEY GEORGE
801 AUSTIN ST
ROCKWALL, TX 75087

KINSEY DONALD H AND TARI L
802 KERNODLE STREET
ROCKWALL, TX 75087

STEGALL VENTURES LLC
802 NASH ST
ROCKWALL, TX 75087

SILVA MANUEL
803 AUSTIN ST
ROCKWALL, TX 75087

JOHNSON BRADLEY K AND GINGER M
803 KERNODLE ST
ROCKWALL, TX 75087

BUSHNELL MICHAEL S & TIFFANIE C
805 KERNODLE ST
ROCKWALL, TX 75087

AUSTIN TRENTON C
806 AUSTIN ST
ROCKWALL, TX 75087

LAWRENCE RUSSELL W AND KELLY D
806 KERNODLE ST
ROCKWALL, TX 75087

DEL BOSQUE MARIO ETUX
807 KERNODLE ST
ROCKWALL, TX 75087

CASTRO RENE & BETSY
808 AUSTINST
ROCKWALL, TX 75087

KINSEY DONALD H & TARI L
808 KERNODLE ST
ROCKWALL, TX 75087

KINDRED ROBERT M
809 AUSTINST
ROCKWALL, TX 75087

JOSEY BROOKE
810 KERNODLE ST
ROCKWALL, TX 75087

JENNINGS AMANDA L
811 AUSTIN ST
ROCKWALL, TX 75087

MCCLAIN LOUETTA
8309 TURNBERRY ST
ROWLETT, TX 75089

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

ABEAR HOMES LLC SERIES 3
8916 MEADOW KNOLL
DALLAS, TX 75243

WILSON CHARLES W
900 N FANNIN ST
ROCKWALL, TX 75087

FINK BEVERLY A & ROYCE G
902 N FANNIN STREET
ROCKWALL, TX 75087

HALL WYNNE &
JOANN CAMPBELL
904 N FANNIN ST
ROCKWALL, TX 75087

WILLIAMS BROOKS
906 FANNIN STREET
ROCKWALL, TX 75087

ABEAR HOMES LLC SERIES 3
908 N FANNIN ST
ROCKWALL, TX 75087

JESSEE DAVID AND A JANE
910 N FANNIN ST
ROCKWALL, TX 75087

BELANGER CORKY
921 N ALAMO RD
ROCKWALL, TX 75087

KINDRED ROBERT M
P.O. BOX 261638
PLANO, TX 75026

GRIFFIN PATTY JEAN CORNELIUS
PO BOX 511
FATE, TX 75087

AWAJA PROPERTIES LLC
PO BOX 811
ROYSE CITY, TX 75189

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-054: Specific Use Permit for an Accessory Structure

Hold a public hearing to discuss and consider a request by Corky Belanger for the approval of a Specific Use Permit from an accessory structure on a 0.161-acre parcel of land identified as Lot 9, Block C, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, December 8, 2020 at 6:00 PM, and the City Council will hold a public hearing on Monday, December 21, 2020 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, December 21, 2020 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-054: Specific Use Permit for an Accessory Structure

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

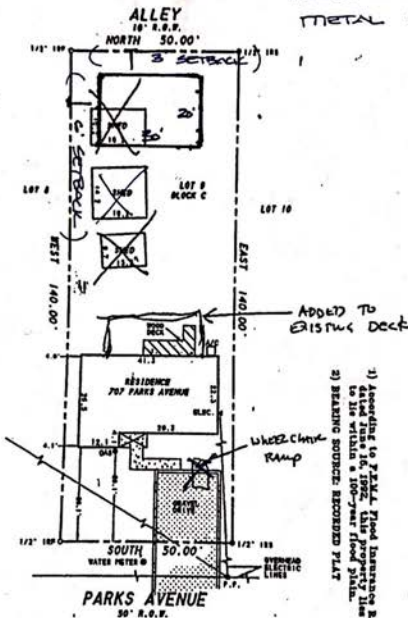
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

X- NOT THERE
NEVER
BEEN

WOOD SHOP
SLAB ON GRADE
METAL STRUCTURE



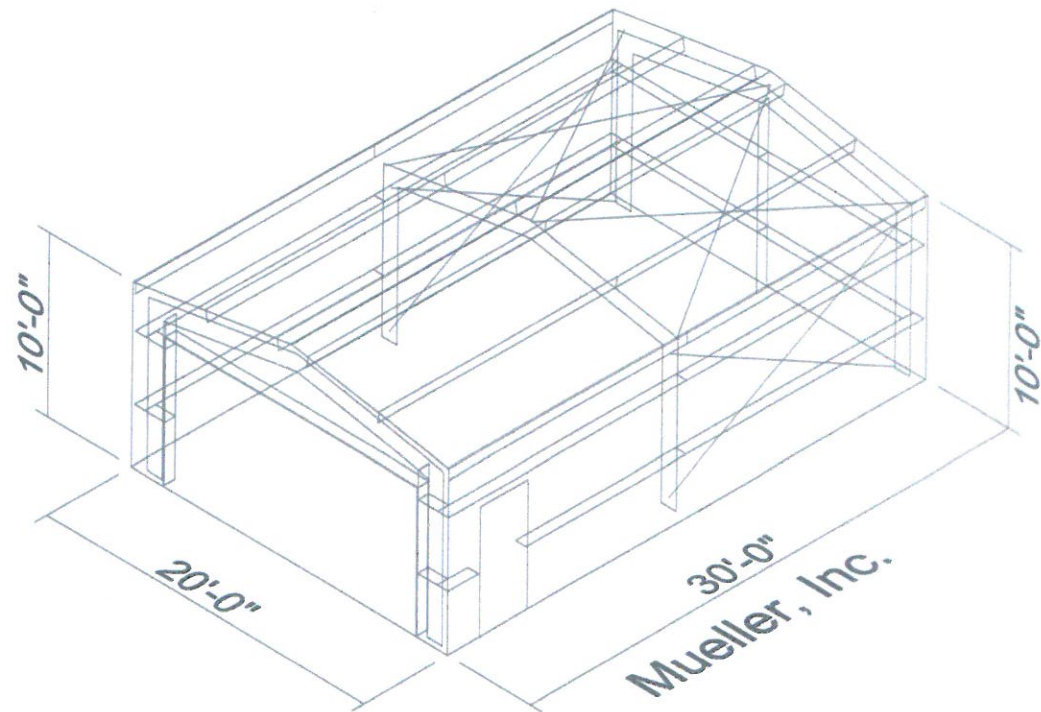
DESCRIPTION
LOT 9, BLOCK C OF THE PORTER ADDITION TO THE CITY OF MCNEAL, MCNEAL COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREON, RECORDED IN VOLUME 12, PAGE 606 DEED RECORDS, MCNEAL COUNTY, ILLINOIS.

NOTES
1) According to a P.E. & P.E. Road Inspection Map Map Community Road No. 480547 0005 C, dated June 8, 1982, this property lies in Zone I. This property does not appear to be within a 100-year flood plain.
2) SEWING SOURCE RECORDED PLAT

STOVALL & ASSOCIATES

I, Harold B. Stovall, III, Registered Professional Land Surveyor, State of Texas, do certify that the above plat, showing the lot lines, area, and acreage, was prepared by me or under my direct supervision and that I am a duly Licensed Professional Land Surveyor in the State of Texas. I further certify that the above plat is a true and correct copy of the original plat on file in my office. My commission expires on 01/01/2000.









CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.161-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 9, BLOCK E, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Corky Belanger for the approval of a Specific Use Permit (SUP) to allow an *Accessory Building* that exceeds the maximum allowable size on a 0.161-acre parcel of land described as Lot 9, Block E, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 707 Parks Avenue, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 600 SF.
- (3) The subject property shall not have more than one (1) accessory building.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF JANUARY, 2021.**

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: December 21, 2020

2nd Reading: January 4, 2021

Exhibit 'A'
Zoning Exhibit

Address: 707 Parks Avenue

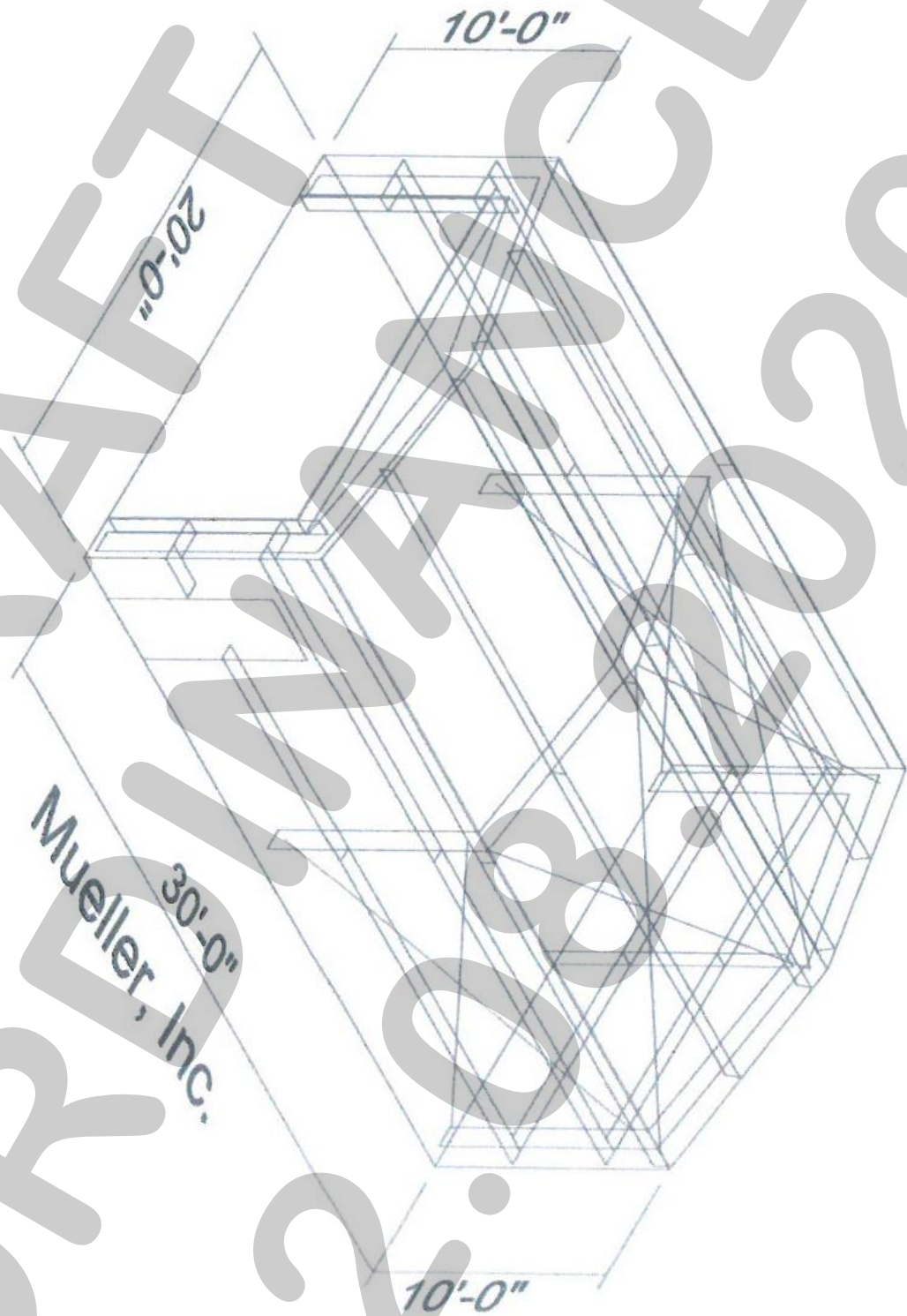
Legal Description: Lot 9, Block C, Foree Addition



X- NOT THERE
NEVER HAVE
BEEN



Exhibit 'C':
Conceptual Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: December 8, 2020

APPLICANT: Darrel Kotzur, PE; *KSA Engineers*

CASE NUMBER: SP2020-031; *Site Plan for a Medical Office and Daycare Facility*

SUMMARY

Discuss and consider a request by Darrel Kotzur, PE of KSA Engineers on behalf of the owner Mary Courtin of Courtin Dental for the approval of a Site Plan for a daycare facility and a medial office on a 1.743-acre tract of land identified as a portion of Lot 9, Block A, Flagstone Corners Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 54 (PD-54) for Commercial (C) District land uses, situated at the southeast corner of the intersection of E. Ralph Hall Parkway and Mims Road, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on December 5, 1983 by *Ordinance No. 83-65*. The City's historic zoning maps indicate the subject property was zoned Commercial (C) District and Heavy Commercial (HC) District on December 7, 1993. On December 2, 2002, the City Council approved a zoning change for the subject property changing the zoning designation of the subject property from a Commercial (C) District and a Heavy Commercial (HC) District to Planned Development District 54 (PD-54) [*Ordinance No. 02-52*] for Single-Family 10 (SF-10) District land uses. On May 3, 2004, the City Council approved an amendment to Planned Development District 54 (PD-54) [*Ordinance No. 04-31*] allowing for limited Commercial (C) District land uses on the subject property.

Staff should note that the applicant had originally submitted an application for the approval of a site plan on October 13, 2020; however, the applicant was unable to make the changes requested by staff and the Architectural Review Board (ARB), and requested to withdraw the application.

PURPOSE

On November 13, 2020, the applicant -- *Darrel Kotzur, PE of KSA Engineers* -- resubmitted an application requesting the approval of a site plan for the purpose of constructing a ~4,059 SF medical office building and a ~10,841 SF daycare facility. Staff should note that the materials submitted on November 13, 2020 were the same materials submitted on October 13, 2020, and the only new materials submitted were color elevations of the proposed daycare facility showing conformance to the roof pitch requirement and elevations for the medical office conforming to the Architectural Review Board's (ARB's) recommendation.

ADJACENT LAND USES AND ACCESS

The subject property is located at the southeast corner of the intersection of E. Ralph Hall Parkway and Mims Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is E. Ralph Parkway, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a five (5) acre tract of land owned by the Texas Department of Transportation (TXDOT). This property is currently being utilized as an office and storage facility, and is zoned for Commercial (C) District land uses.

South: Directly south of the subject property is a 0.747-acre parcel of land (*i.e. Lot 1, Block A, Rockwall School of Music Addition*), which is zoned Planned Development District 60 (PD-60) for Residential Office (RO) District land uses. Beyond this is Flagstone Addition, which consists of 81 single-family residential lots on 50.78-acres. These properties are zoned Planned Development District 54 (PD-54) for Single-Family 10 (SF-10) District land uses.

East: Directly east of the subject property is an assisted living facility (*i.e. Rock Ridge Assisted Living*), which is zoned Planned Development District 54 (PD-54) for Commercial (C) District land uses. Beyond this is Flagstone Creek Boulevard, which is identified as a R2 (*i.e. residential, two (2) lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this roadway is a medical facility (*i.e. Rockwall Medical Center*) and two (2) commercial businesses (*i.e. Salon Elites and Signature Signs & Graphics*). All of these properties are zoned Planned Development District 54 (PD-54) for Commercial (C) District land uses.

West: Directly west of the subject property is Mims Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 2 of the Highland Meadows Subdivision, which consists of 97 single-family residential lots on 25.62-acres of land that is zoned Single-Family 7 (SF-7) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

The subject property is located within Planned Development District 54 (PD-54), which has an underlying zoning of Commercial (C) District. According to Section 01, *Land Use Schedule*, of Article 04 *Permissible Uses*, of the Unified Development Code (UDC), the proposed uses (*i.e. medical office and daycare facility*) are allowed *by-right* in a Commercial (C) District. With the exclusion of the exceptions being requested and the items outlined in the *Conditions of Approval* section of this case memo the submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) and Planned Development District 54 (PD-54) for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property and the proposed projects conformance to these requirements is as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>75,932 SF; In Compliance</i>
<i>Minimum Lot frontage</i>	<i>60 Feet</i>	<i>x>416-Feet; In Compliance</i>
<i>Minimum Lot Depth</i>	<i>100 Feet</i>	<i>x>182-Feet; In Compliance</i>
<i>Minimum Front Yard Setback</i>	<i>15 Feet</i>	<i>x=25-Feet; In Compliance</i>
<i>Minimum Rear Yard Setback</i>	<i>10 Feet</i>	<i>x>10-Feet; In Compliance</i>
<i>Minimum Side Yard Setback</i>	<i>10 Feet</i>	<i>x>10-Feet; In Compliance</i>
<i>Maximum Building Height</i>	<i>36 Feet</i>	<i>~33-Feet; In Compliance</i>
<i>Maximum Building/Lot Coverage</i>	<i>60%</i>	<i>~19.6%; In Compliance</i>
<i>Minimum Masonry Requirement</i>	<i>As Required by PD-54</i>	<i>x=100%; In Compliance</i>
<i>Minimum Number of Parking Spaces</i>	<i>55</i>	<i>56 Provided; In Compliance</i>
<i>Minimum Stone Requirement</i>	<i>20% Each Facade</i>	<i>x>20%; In Compliance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>~23.8%; In Compliance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>~76.2%; In Compliance</i>

TREESCAPE PLAN

There are no existing trees located on the subject property. As a result, no Treescape Plan is being required by staff.

CONFORMANCE WITH THE CITY'S CODES

Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), indicates that the Commercial (C) District is intended to provide most types of commercial development (*e.g. larger shopping centers at major intersections, commercial strips along arterial roadways, etc.*) and includes most types of office and retail activity. This district mostly excludes land uses that are not compatible with retail shopping due to the noise, traffic, litter, late night hours, and other influences that could be harmful to neighborhoods, and requires adequate buffering and mitigating

factors when locating adjacent to residential areas. Properties zoned Commercial (C) District are generally located on or close to an arterial or major collector that is capable of carrying the additional traffic generated by these types of land uses. Since the Commercial (C) District is general in nature, the development standards are less stringent and do not require as high of standards of development as the Residential-Office (RO), Neighborhood Services (NS) and General Retail (GR) Districts. In this case, the applicant's proposal is adjacent to E. Ralph Hall Parkway (*which is identified as a M4D*) and Mims Road (*which is identified as a M4U*). The proposed *medical office* and *daycare facility* land uses are not typically considered intensive commercial land uses, nor are they high-volume water/wastewater users.

With all of this being said, staff has identified a number of technical deficiencies on the submitted plans and has included a requirement that these issues be addressed prior to the submittal of engineering plans. In addition, staff has identified a number of exceptions

EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following exceptions to the requirements of Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) and Planned Development District 54 (PD-54) [*Ordinance No. 02-52*]:

(1) Medical Office Building.

- (A) Articulation (Primary Building Façades). According to Subsection 04.01(C)(1), *General Commercial District Standards*, of Article 05, *District Development Standards*, of the UDC, primary facades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 25% above the top of the wall and a minimum of 25% from the walls surface. In addition, no wall should exceed a length of three (3) times the walls height without an architectural/entryway element.

Staff's Response: In this case, the proposed *medical office* incorporates vertical projections on all facades; however, the building design does not meet the exact formula for the horizontal articulation on the *primary building façade*, which is located adjacent to Mims Road (*i.e. the western facing elevation*), Ralph Hall Parkway (*i.e. the northern facing elevation*), and the building façade with the entryway (*i.e. the southern facing elevation*). As is stated below in the *Architectural Review Board (ARB) Recommendation* section of this case memo, the ARB did not have an issue with the medical building and recommended approval of this structure with the requested exception. The driving factor in the ARB's recommendation is the conformance of the building's architecture with the existing building (*i.e. Rockwall School of Music*). In addition, the ARB stated that they felt the building generally conformed with the intent of the articulation standards.

(2) Daycare Facility.

- (A) Front Yard Fence for Non-Residential Properties. According to Subsection 08.04, *Non-Residential Fences*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(n)o fence shall be constructed in the front yard of a non-residential property without being granted an exception from the Planning and Zoning Commission ... In considering a front yard fence, the Planning and Zoning Commission ... may establish additional conditions of construction for any fence."

Staff's Response: In this case, the applicant is facing the building internal to the site; however, the effective front of the building is the western building façade (*i.e. the façade facing onto Mims Road*). Currently, the site plan shows that the four (4) foot wrought iron fence -- *used to fence the play areas for the daycare facility* -- extends five (5) feet into the front yard building setback, and is in between the front façade of the building and the street.

- (B) Articulation (Primary Building Façades). According to Subsection 04.01(C)(1), *General Commercial District Standards*, of Article 05, *District Development Standards*, of the UDC, primary facades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 25% above the top of the wall and a minimum of 25% from the walls surface. In addition, no wall should exceed a length of three (3) times the walls height without an architectural/entryway element.

- (C) Articulation (Secondary Building Façades). According to Subsection 04.01(C)(2), *General Commercial District Standards*, of Article 05, *District Development Standards*, of the UDC, primary façades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 15% above the top of the wall and a minimum of 15% from the walls surface. In addition, no wall should exceed a length of three (3) times the walls height without an architectural/entryway element.

Staff's Response to (B) & (C): In this case, the daycare facility is deficient to the articulation standards on three (3) sides of the building. The *primary building façade* adjacent to Mims Road (*i.e. the western facing elevation*) and the *secondary building façades* adjacent to the adjacent properties (*i.e. the southern façade adjacent to Rockwall School of Music and the eastern façade adjacent to Rock Ridge Assisted Living*). The Architectural Review Board (ARB) reviewed the proposed building elevations for the daycare facility and asked the applicant to make changes to the architecture so that it would better blend with the two (2) adjacent buildings (*i.e. these buildings were constructed/proposing to be constructed in a "Hill Country Modern" architectural style whereas the daycare facility is being constructed in a "Colonial" style*); however, the applicant has indicated an unwillingness to break from the companies corporate prototype and has refused all of the ARB's recommendations with the exception of changing the brick color.

According to Section 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), unless otherwise specified by the UDC "(a)n applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In this case, four (4) exceptions are being requested from the Planning and Zoning Commission, which would require eight (8) compensatory measures that "... directly offset the requested exception." The applicant has provided a letter outlining the following compensatory measures:

- (1) Masonry on the Buildings. The applicant is proposing to utilize 100% masonry materials on both the medical office building and the daycare facility.
- (2) Stone. The applicant is proposing to utilize a minimum 30% stone on all façades of the daycare facility.
- (3) Decorative Architectural Elements. Varying roof heights on the medical office building.

In this case, staff has reviewed the requested variances and does not find a reason that the applicant cannot meet the articulation requirements on the daycare facility or meet the requests of the Architectural Review Board (ARB). In addition, the applicant has failed to provide [1] the required number of compensatory measures stipulated by the Unified Development Code (UDC) for the requested number of variances, and [2] has not identified a "... unique or extraordinary condition ..." or a reason for why they cannot meet the ordinance requirements or the ARB's recommendation. Staff should point out that the applicant's letter does relate their unwillingness to meet the ordinance requirements as an "opportunity to redirect the cost of horizontal articulation ..." towards their compensatory measures; however, staff is also obligated to point out that the two (2) buildings are not a part of the same project (*i.e. they are two [2] different owners*) and should be considered separate projects (*i.e. even though they are on the same property and are being considered under the same site plan*). With this being said, the approval of any exceptions is a discretionary decision by the Planning and Zoning Commission.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located within the Southwest Residential District, and is designated for Commercial/Retail land uses. The existing zoning on the subject property and the proposed land uses are in conformance with the district strategies and Future Land Use Map designation for the subject property. When looking at the goals and policies contained in the Comprehensive Plan, the proposed plan does appear to generally conform to the Comprehensive Plan; however, staff should point out the following excerpts from the plan:

- (1) CH. 07 | Goal 05 | Policy 2: Corporate branding elements that make buildings difficult to rebrand or adapt to other uses should be highly discouraged.

- (2) CH. 09 / Goal 03 / Policy 4: Long, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks -- or "articulated" in architectural terms --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town.
- (3) CH. 09 / Goal 4 / Policy 2: Non-residential buildings should be architecturally finished on all four (4) sides with the same materials, detailing and features.

Based on these excerpts, the building proposed for the daycare facility would not comply with the intent of the Comprehensive Plan mostly due to the requested variances to the articulation requirements.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

It should be noted that the initial application received on October 16, 2020 was reviewed by the Architectural Review Board (ARB) on October 27, 2020. The ARB recommended that the applicant change the appearance of the daycare facility to conform or compliment the proposed the medical office by utilizing similar materials, incorporating stone into the columns, and changing the design of the roof in order to meet the 6:12 roof standard. Additionally, the ARB recommended the applicant meet all of the standards of the Unified Development Code (UDC) and Planned Development District 54 (PD-54) where no exceptions would need to be requested (*i.e. change the roof pitch from 4:12 to 6:12, meet the primary and secondary articulation, and incorporate a minimum of 20% stone in conformance with PD-54*). The ARB also recommended that the applicant increase the size of the wing wall on the western building elevation of the proposed dental office. This request was ultimately withdrawn before the ARB could review a subsequent submittal.

On November 24, 2020, the Architectural Review Board (ARB) reviewed the proposed building elevations for the medical office and daycare facility that were resubmitted under a new application on November 13, 2020. As a note, the applicant revised the west building elevation of the medical office as requested by the ARB and the roof pitch of the daycare facility; however, no changes were submitted. Upon review, the ARB indicated they were pleased with the changes to the medical office, but wanted clarification of the materials being used based on the smooth appearance of the building elevations. With regard to the daycare facility, the ARB again recommended that the structure be changed to better conform to the adjacent buildings, which were constructed in a *Hill Country Modern* appearance as opposed to the *Colonial* look of the daycare facility. The ARB also indicated that a standing seam metal roof may help create conformity between the Rockwall School of Music, the proposed medical office and the daycare facility. The ARB also requested a color rendering/perspective and a material sample board for further review at the December 8, 2020 meeting.

The applicant has provided revised building elevations and a materials sample board. The revised elevations do not show conformance with requests of the ARB's recommendations and the building remains visually unchanged from when it was submitted on November 13, 2020. The Architectural Review Board (ARB) will review the applicant's revised building elevations at the December 8, 2020 meeting, and provide a recommendation to the Planning and Zoning Commission at the meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's site plan for a medical office and daycare facility on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans. The following comments will specifically need to be addressed:
 - (a) Remove the proposed grate inlets in the parking areas of the Site Plan and Landscape Plan. This type of inlet is not permitted per the Engineering Department's *Standards of Design and Construction Manual*.
 - (b) Change the Landscape Plan to show additional landscape screening for the transformer boxes at the northwest and northeast corners of the subject property [*Subsection 01.05(c); Article 05; UDC*].
 - (c) An oil/water separator is required in all dumpster areas that involve land uses that serve food. Please add a note to the Site Plan indicating that the daycare facility will incorporate an oil/water separator [*Standards of Design and Construction Manual*].

- (d) The notes on the Site Plan indicate 3,500 PSI concrete will be utilized on-site. Please change all notes to indicate 3,600 PSI concrete [*Standards of Design and Construction Manual*].
 - (e) On the Landscape Plan, the Cedar Elm and Shumard Oak trees that are within approximately five (5) to eight (8) feet of the property line adjacent to Ralph Hall Parkway need to be moved back a minimum of ten (10) feet [*Standards of Design and Construction Manual*].
 - (f) A ten (10) foot utility easement needs to be indicated along Ralph Hall Parkway on both the Site Plan and Landscape Plan [*Standards of Design and Construction Manual*].
 - (g) A five (5) foot utility easement needs to be indicated along Mims Road on both the Site Plan and Landscape Plan [*Standards of Design and Construction Manual*].
 - (h) Provide lighting cut sheets for the proposed wall packs shown on the Photometric Plan.
 - (i) Please adjust the wall packs on the Photometric Plan so that the light levels at the property lines are no greater than 0.2 FC. Currently, there are areas adjacent to the two (2) roadways that don't conform to this requirement. If this is not fixed, it will require an additional exception from the Planning and Zoning Commission [*Subsection 03.03(c); Article 07; UDC*].
 - (j) The light pole locations in the parking areas on the Photometric Plan appear to conflict with the proposed canopy trees on the Landscape Plan. Please fix this issue or provide clarification on these locations [*Article 08; UDC*].
 - (k) The Building Elevations for the daycare facility depict a solid masonry screen for the air-conditioner screening at the rear of the property; however, the Site Plan shows a wrought iron fence in this area. Please clarify either the Site Plan or Building Elevations [*Subsection 01.05(c); Article 05; UDC*].
 - (l) Floodlamps are shown on the Building Elevations for the daycare facility. The City does not allow up lighting of signage elements due to the *Dark Sky* requirements. Please remove these lamps from the Building Elevations [*Article 07; UDC*].
 - (m) Please provide a detail of the bollards on the Site Plan and correct the symbology (*i.e. Bollards are currently labeled as SSCO*) [*Article 11; UDC*].
- (2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2020-031

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Plotting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre) ¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre) ¹
- ☐ Replat (\$300.00 + \$20.00 Acre) ¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☒ Site Plan (\$250.00 + \$20.00 Acre) ¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre) ¹
- ☐ Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address N/A

Subdivision Flagstone Corners

Lot 9 Block A

General Location Southeast corner of E. Ralph Hall Pkwy and Mims Rd

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Planned Development District

Current Use Undeveloped

Proposed Zoning _____

Proposed Use Dental Office/Daycare

Acreage 1.74

Lots [Current] 1

Lots [Proposed] 1

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner Courtin Dental

☒ Applicant KSA Engineers

Contact Person Mary Courtin

Contact Person Darrel Kotzur, P.E.

Address 991 East I-30
Suite 103

Address 6781 Oak Hill Blvd.

City, State & Zip Rockwall, TX 75032

City, State & Zip Tyler, TX 75703

Phone (214) 471-3810

Phone (903) 541-8141 ext. 1311

E-Mail marycourtin@yahoo.com

E-Mail dkotzur@ksaeng.com

NOTARY VERIFICATION [REQUIRED]

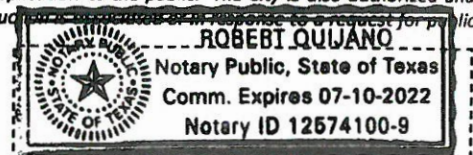
Before me, the undersigned authority, on this day personally appeared Darrel Kotzur [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 285, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of November, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is necessary in response to a request for public information."

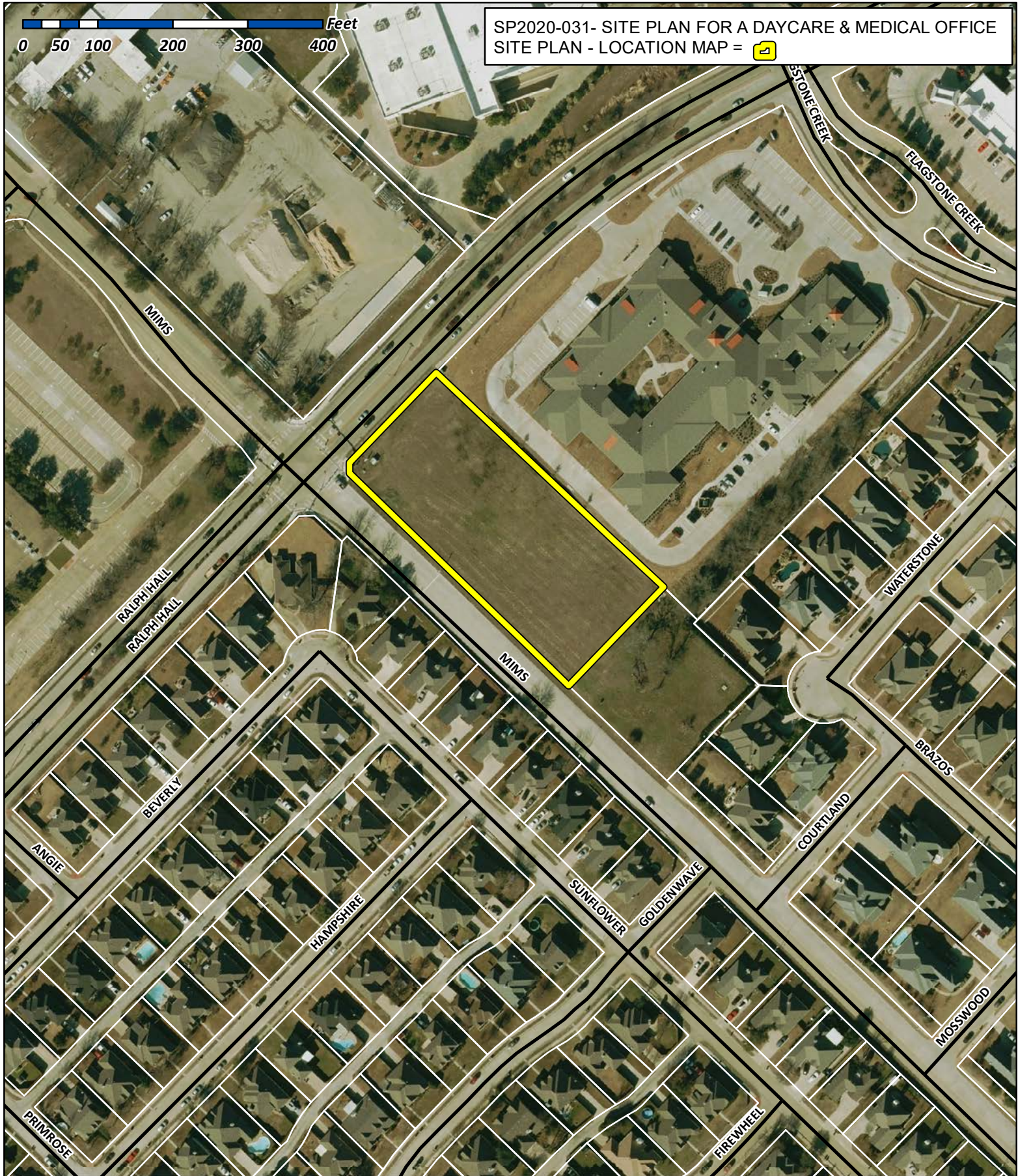
Given under my hand and seal of office on this the 12th day of November, 2020.

Owner's Signature

Notary Public in and for the State of Texas



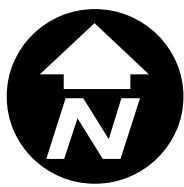
My Commission Expires 7-10-22



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PROPOSED COMPENSATORY MEASURES

Project: COURTIN DENTAL CLINIC & GODDARD DAYCARE

Attention: David Gonzales, AICP

Jurisdiction: City of Rockwall

Date: 12/03/20

Dear Mr. Gonzales,

Pursuant to our conversation this week regarding the above referenced projects, Method Architecture is proposing the following façade treatments and features as compensation for the requested variance to forego horizontal articulation as defined by City of Rockwall's the unified development code. Thank you for the opportunity to redirect the cost of horizontal articulation towards building enhancements as described below:

Compensate Item F) – Above and beyond 90% masonry

Masonry is being provided at 100% including stone, brick, and stucco applications, on all elevations of both buildings.

Compensate Item G) – Above and beyond 20% stone

Stone is provided in excess of 30% Min. on all elevations and at the dental clinic entry feature.

Compensate Item H) – Decorative architectural elements

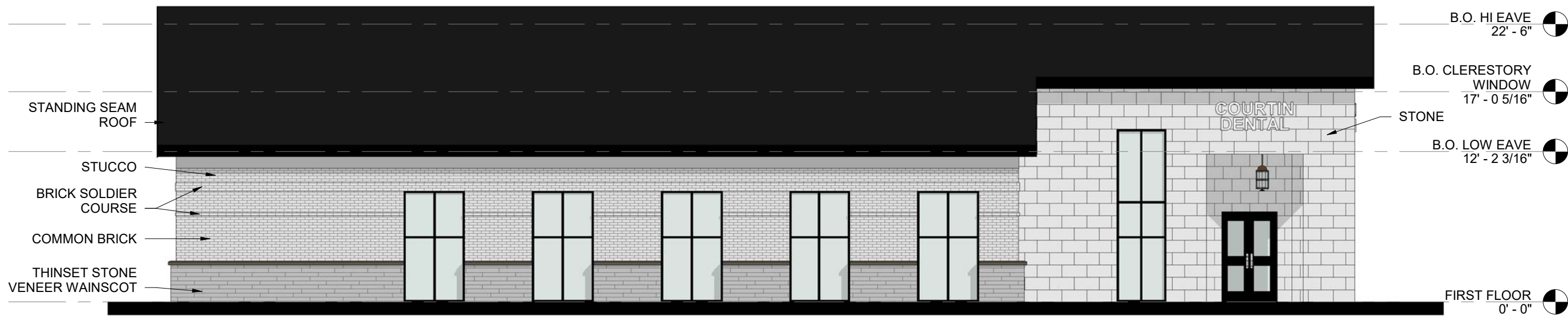
The Courtin Dental Clinic has varying roof heights as a compensatory measure giving interest to the intersection of geometric forms. In addition, a portico entry of pure limestone is provided as the defining entry feature with deep recesses.

The Goddard School has a continuous decorative stucco cornice at all four elevations as a defining feature. In addition, three peaked roof dormers are being provided on street facing facades to add interest and definition to the roof.

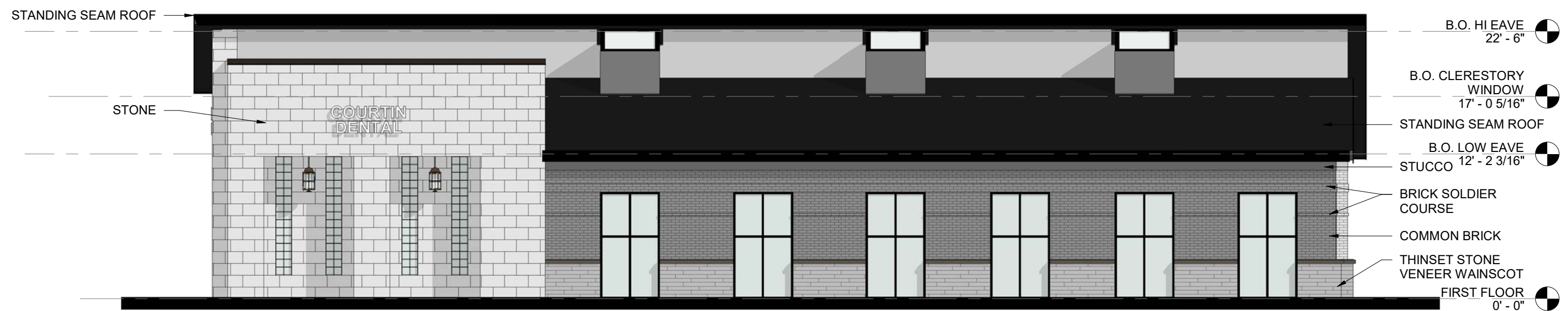


Brian 'Drew' Hayes

Associate Principal, North Texas Market Lead



SOUTH ELEVATION 1
1/8" = 1'-0"



NORTH ELEVATION 2
1/8" = 1'-0"



EAST ELEVATION 3
1/8" = 1'-0"



WEST ELEVATION 4
1/8" = 1'-0"

COMPENSATORY MEASURES

- F:**
Masonry building materials in percentages equal to or greater than surrounding properties.
REQUIRED: 90% PROVIDED: 100%
- G:**
The inclusion of natural or cultured stone.
REQUIRED: 20% PROVIDED: 30%
- H:**
Increased architectural elements.
**COURTIN DENTAL CLINIC: VARIED ROOF HEIGHTS
PORTICO ENTRY**

FACADE MATERIAL PERCENTAGES

NORTH ELEVATION (1,603 SF)		
320 SF GLASS & DOORS	---	
1,283 SF FACADE	100%	
327 SF STUCCO (PRIMARY)	26%	
335 SF MASONRY, BRICK (PRIMARY)	26%	
121 SF MASONRY, STONE (PRIMARY)	9%	
500 SF MASONRY, LIMESTONE (PRIMARY)	39%	
SOUTH ELEVATION (1,276 SF)		
314 SF GLASS & DOORS	---	
962 SF FACADE	100%	
64 SF STUCCO (PRIMARY)	7%	
370 SF MASONRY, BRICK (PRIMARY)	38%	
146 SF MASONRY, STONE (PRIMARY)	15%	
382 SF MASONRY, LIMESTONE (PRIMARY)	40%	
EAST ELEVATION (815 SF)		
91 SF GLASS & DOORS	---	
724 SF FACADE	100%	
66 SF STUCCO (PRIMARY)	8%	
122 SF MASONRY, BRICK (PRIMARY)	17%	
54 SF MASONRY, STONE (PRIMARY)	8%	
482 SF MASONRY, LIMESTONE (PRIMARY)	67%	
WEST ELEVATION (879 SF)		
75 SF GLASS & DOORS	---	
804 SF FACADE	100%	
269 SF STUCCO (PRIMARY)	33%	
312 SF MASONRY, BRICK (PRIMARY)	39%	
135 SF MASONRY, STONE (PRIMARY)	17%	
88 SF MASONRY, LIMESTONE (PRIMARY)	11%	

REVISIONS:

TEAE

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REGISTERED ARCHITECT

RENDERING
PROJECT SUBNAME

Enter address here

PM: PMG DE: JM

PROJECT:

MB205013

SHEET:

A3.00

BUILDING
ELEVATIONS



NORTH ELEVATION

1/8" = 1'-0"

1



WEST ELEVATION

1/8" = 1'-0"

2

COMPENSATORY MEASURES

- F:**
Masonry building materials in percentages equal to or greater than surrounding properties.
REQUIRED: 90% PROVIDED: 100%
- G:**
The inclusion of natural or cultured stone.
REQUIRED: 20% PROVIDED: 30%
- H:**
Increased architectural elements.
GODDARD SCHOOL: PEAKED ROOF (DORMERS) CORNICES

FACADE MATERIAL PERCENTAGES

NORTH ELEVATION (1,146 SF)		
100 SF GLASS & DOORS		---
1,046 SF FACADE		100%
488 SF MASONRY, BRICK (PRIMARY)		47%
320 SF MASONRY, STONE (PRIMARY)		30%
238 SF STUCCO CORNICE (ACCENT)		23%
SOUTH ELEVATION (1,145 SF)		
124 SF GLASS & DOORS		---
1,021 SF FACADE		100%
474 SF MASONRY, BRICK (PRIMARY)		46%
309 SF MASONRY, STONE (PRIMARY)		30%
238 SF STUCCO CORNICE (ACCENT)		23%
EAST ELEVATION (1,562 SF)		
299 SF GLASS & DOORS		---
1,263 SF FACADE		100%
570 SF MASONRY, BRICK (PRIMARY)		45%
380 SF MASONRY, STONE (PRIMARY)		30%
313 SF STUCCO CORNICE (ACCENT)		25%
WEST ELEVATION (1,561 SF)		
346 SF GLASS & DOORS		---
1,215 SF FACADE		100%
515 SF MASONRY, BRICK (PRIMARY)		42%
387 SF MASONRY, STONE (PRIMARY)		32%
313 SF STUCCO CORNICE (ACCENT)		26%

REVISIONS:

TEAE
THE ARCHITECTURAL EXAMINERS
OF TEXAS
REGISTERED ARCHITECT

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COURTIN DAYCARE - RENDERING

PROJECT SUBNAME

CORNER OF MIMS RD
AND RALPH HALL HWY
IN HOUSTON, TEXAS

PM: PMG DE: DSG

PROJECT:

MB205014

SHEET:

A3.00

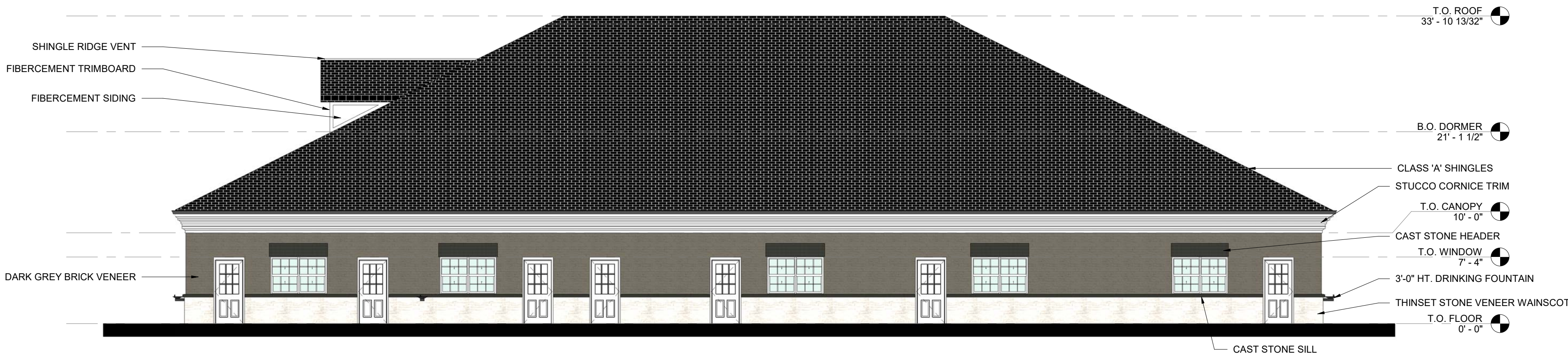
BUILDING
ELEVATIONS



SOUTH ELEVATION

1/8" = 1'-0"

1



EAST ELEVATION

1/8" = 1'-0"

2

COMPENSATORY MEASURES

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The inclusion of natural or cultured stone.
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FACADE MATERIAL PERCENTAGES

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387 SF MASONRY, STONE (PRIMARY)		32%
313 SF STUCCO CORNICE (ACCENT)		26%

REVISIONS:

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ARCHITECT
REGISTERED ARCHITECT

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COURTIN DAYCARE - RENDERING
PROJECT SUBNAME

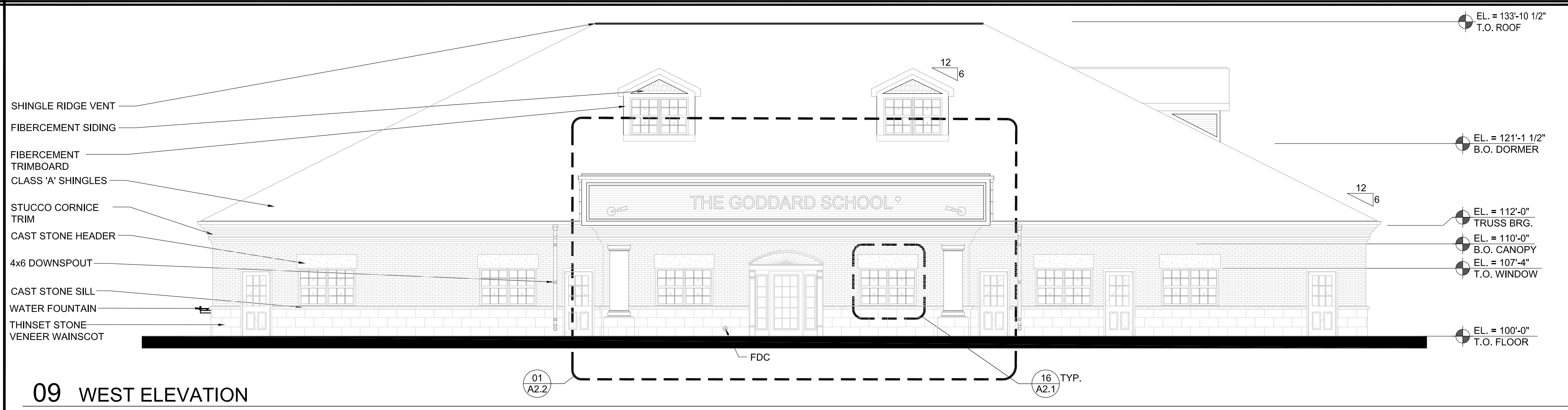
CORNER OF MIMS RD
AND RALPH HALL LANE
IN HOUSTON, TEXAS

PM: PMG DE: DSG
PROJECT:
MB205014
SHEET:
A3.01
BUILDING ELEVATIONS



09 (ALTERNATE) WEST ELEVATION

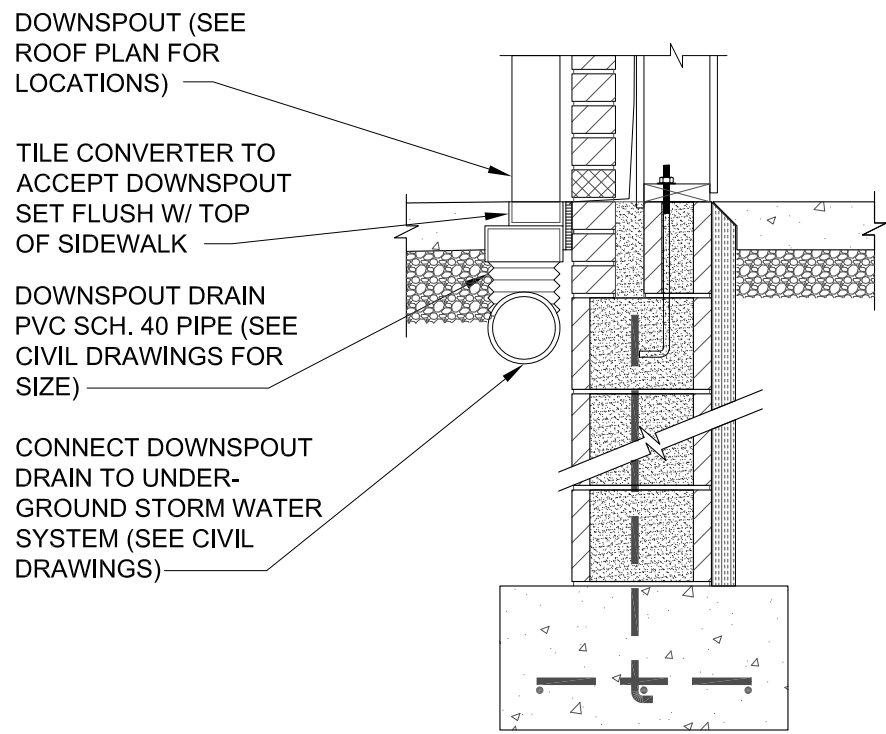
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09 WEST ELEVATION

SCALE: 1/8" = 1'-0"

FACADE MATERIAL PERCENTAGES		
NORTH ELEVATION (1,146 SF)		
100 SF GLASS & DOORS	---	
1,046 SF FACADE	100%	
488 SF MASONRY, BRICK (PRIMARY)	47%	
320 SF MASONRY, STONE (PRIMARY)	30%	
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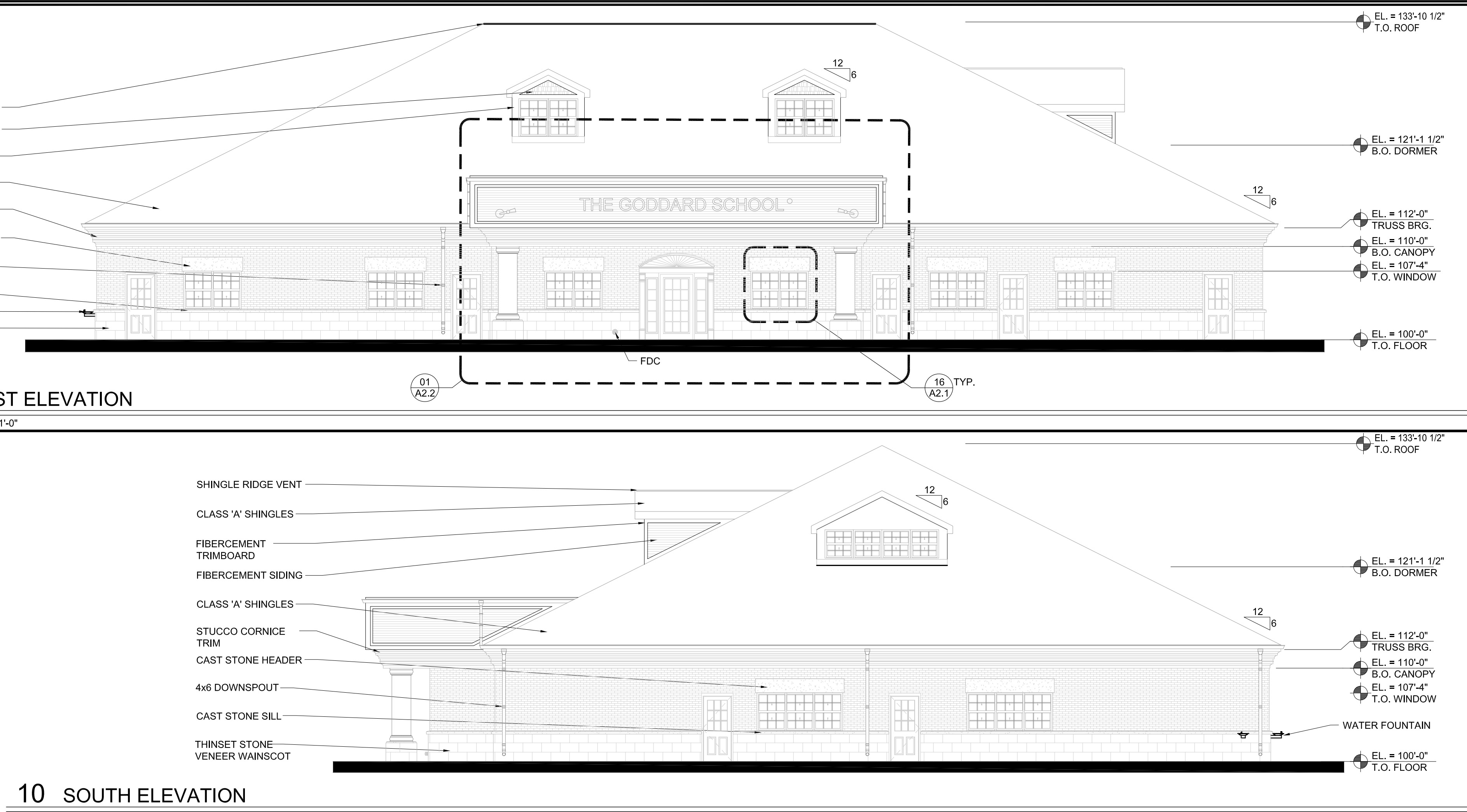
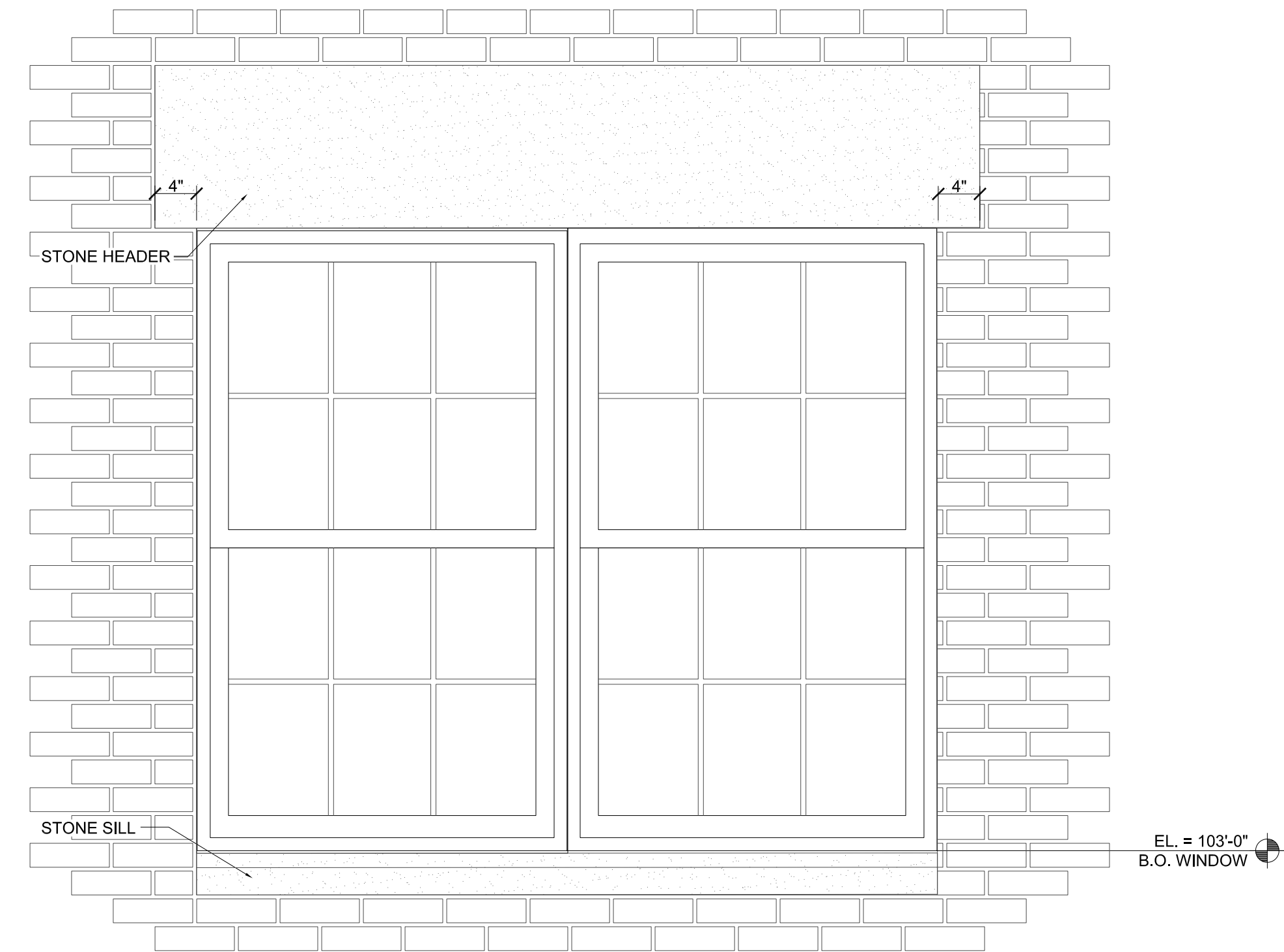


14 FOUNDATION SECTION @ DOWNSPOUTS

SCALE: 3/4" = 1'-0"

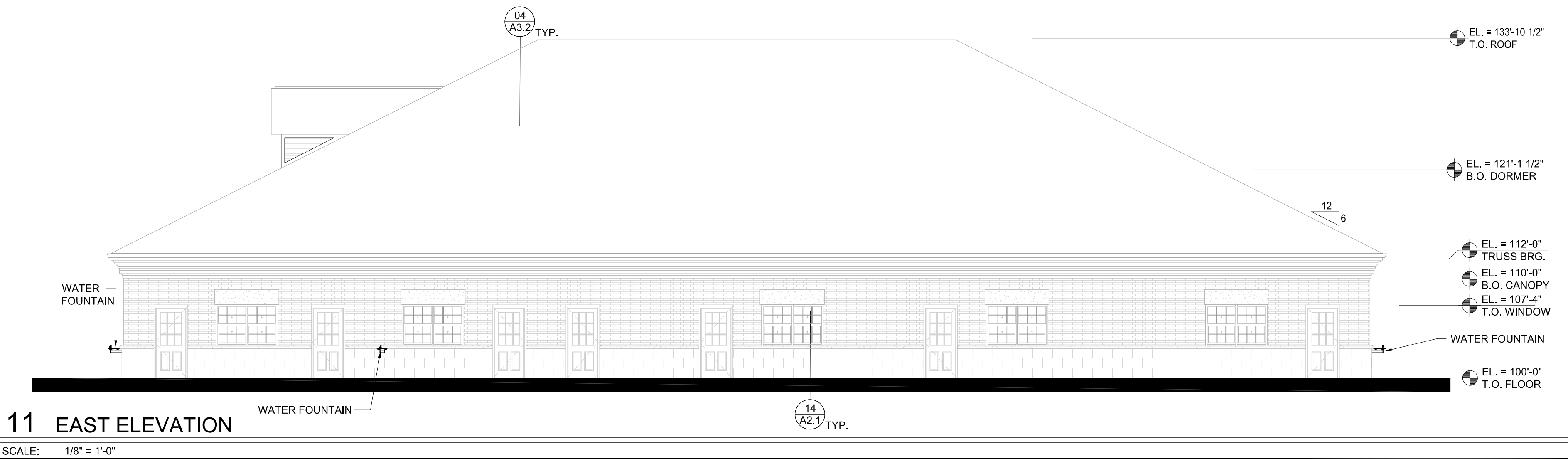
13 FACADE MATERIAL PERCENTAGES

SCALE: 3/4" = 1'-0"



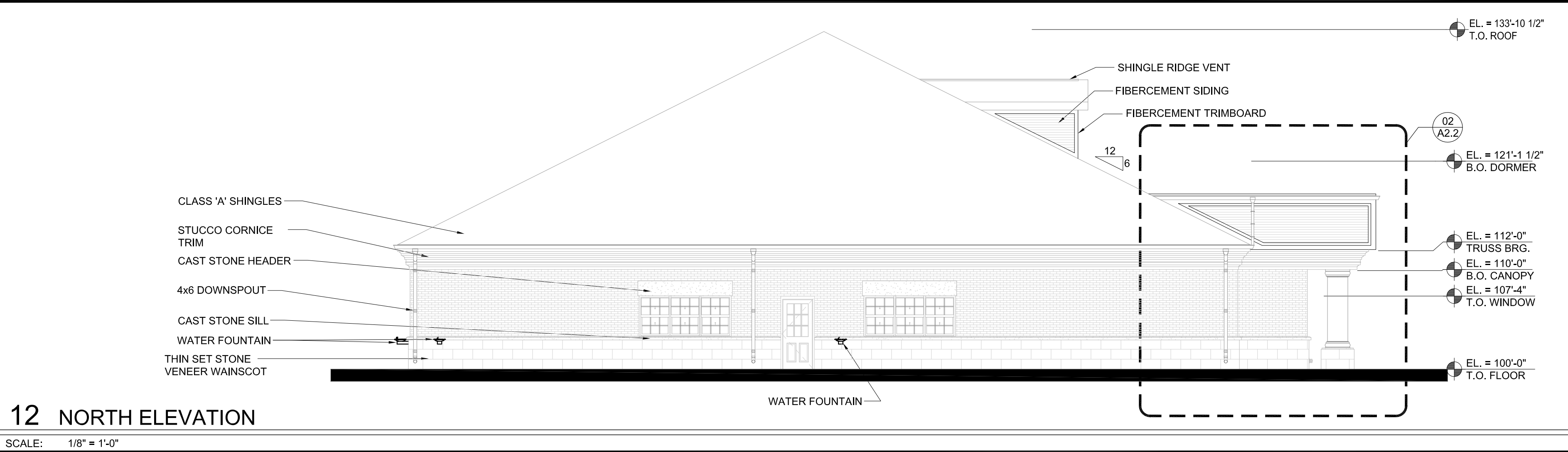
10 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



11 EAST ELEVATION

SCALE: 1/8" = 1'-0"



12 NORTH ELEVATION

SCALE: 1/8" = 1'-0"

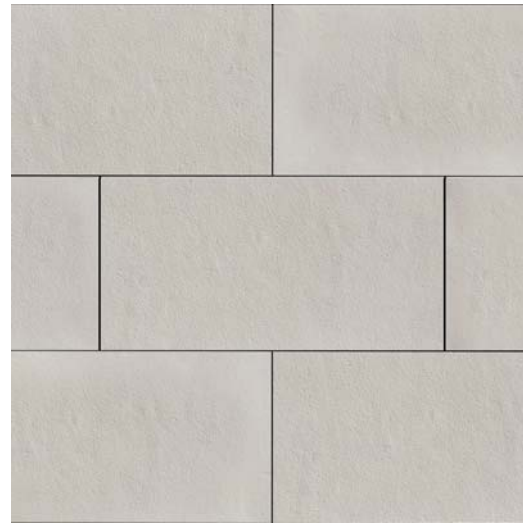
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20		



B1



CS1



L1



SS1



MATERIAL KEY

B1: BRICK MASONRY - ASH GREY, MODULAR

CS1: CAST STONE MASONRY - MIDNIGHT GROUND, CORDOVA STONE

L1: LIMESTONE MASONRY - COTTONWOOD HONED, BBCO

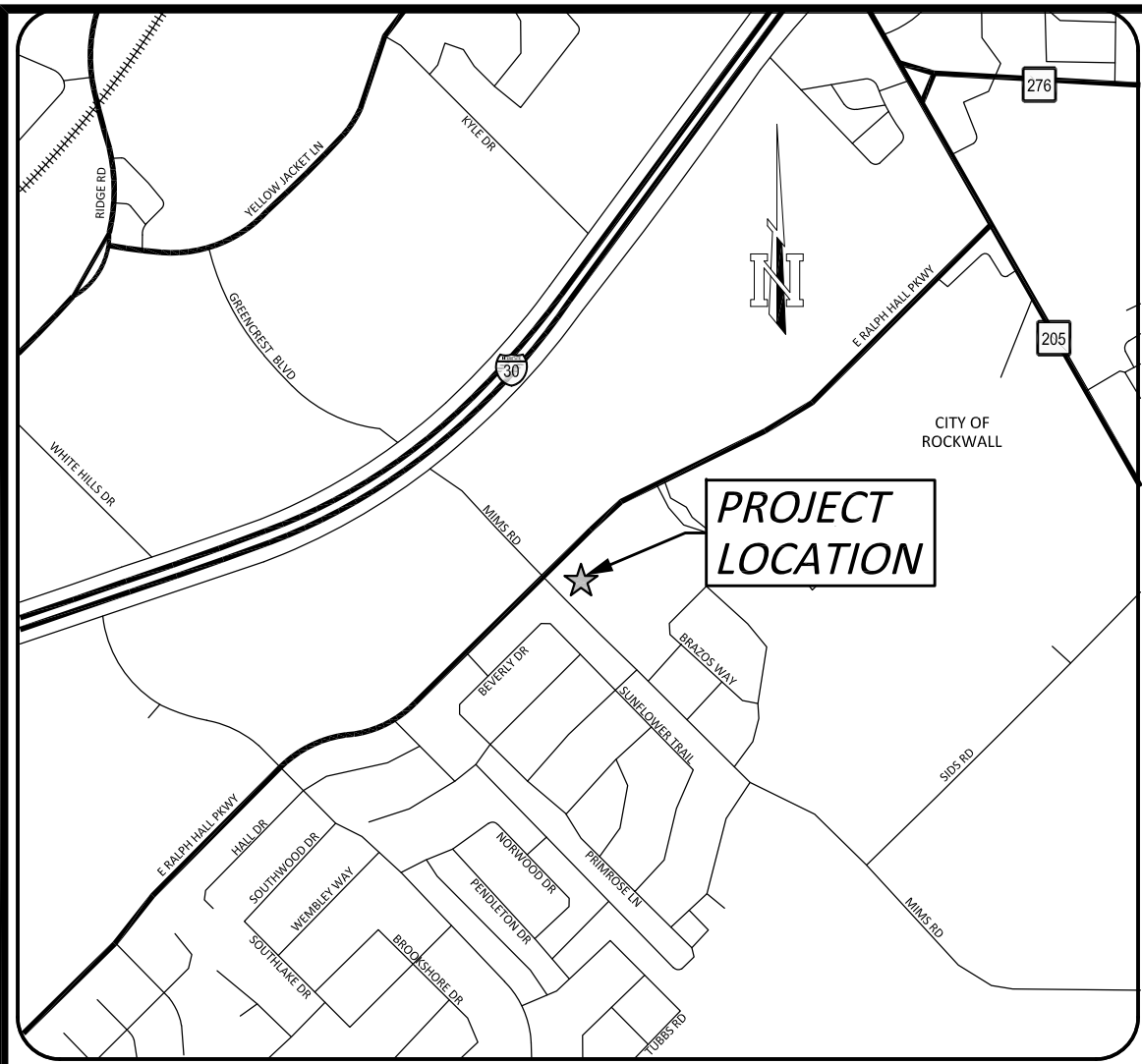
SS1: STACKED STONE VENEER - MALVA LEDGE PANELS, BBCO

From: David Gonzalez
To: [David Gonzalez](#)
Subject: HQ
Date: Wednesday, December 2, 2020 5:26:46 PM

This email was scanned by Bitdefender
CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



Have a great day,
David Gonzalez
My iPhone

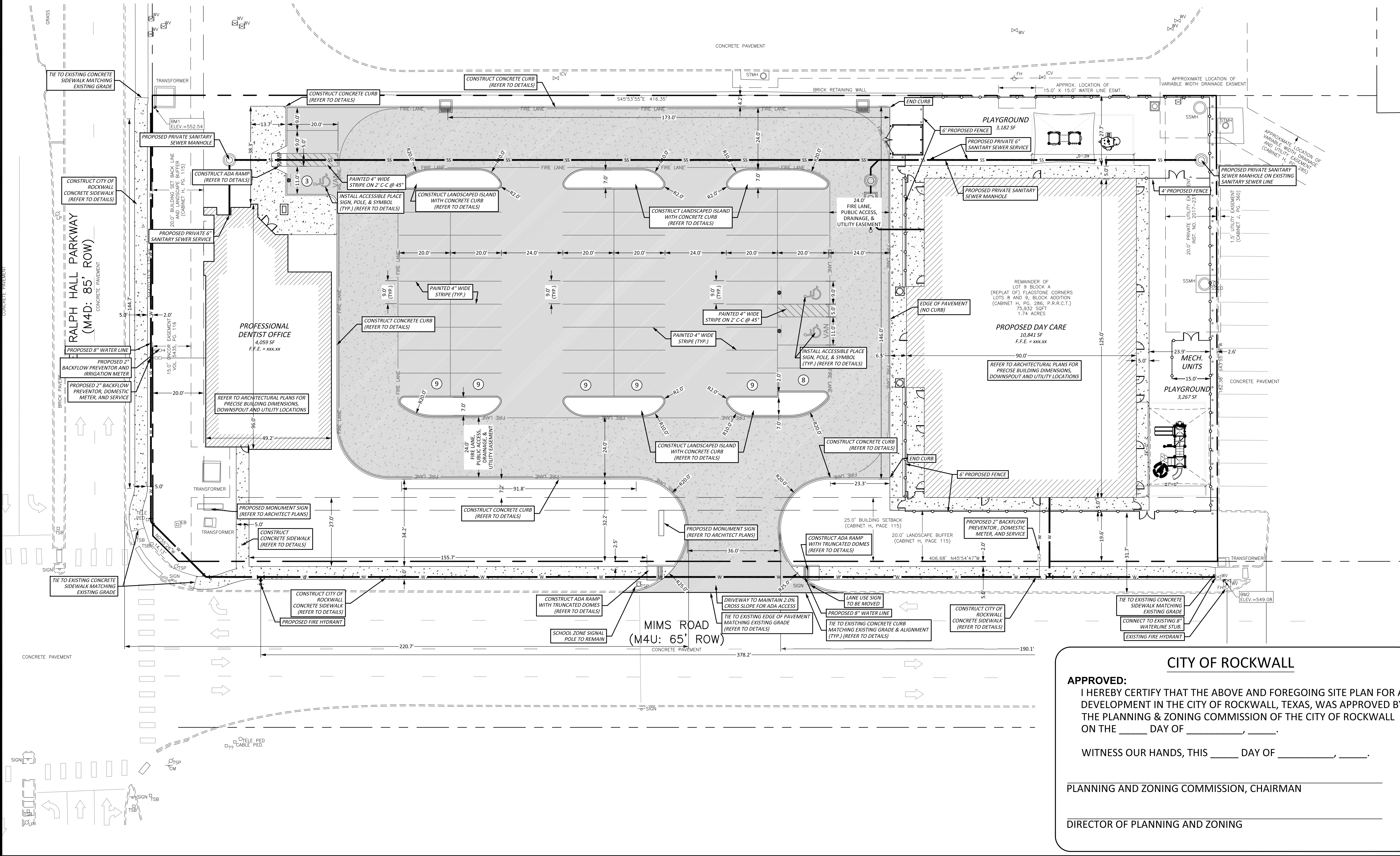


VICINITY MAP
NOT TO SCALE

CONCRETE PAVEMENT

LOT 8 BLOCK A
251,484.3 SQ FT
5.77 ACRES

CONCRETE PAVEMENT



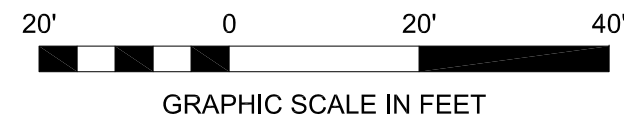
SITE PLAN INFORMATION

ZONED: PD-64
LAND USE: PROPOSED: COMMERCIAL
TOTAL LOT AREA: 1,743 ACRES (75,932 S.F.)
TOTAL LOT PERIMETER: ±1,192 LF
BUILDING AREA: DENTAL OFFICE: 4,059 S.F.
DAYCARE: 10,841 S.F.
BUILDING HEIGHT: DENTAL OFFICE: 20'-0" - 24'-0"
DAYCARE: 20'-0" - 24'-0"

	REQUIRED	PROVIDED
STANDARD PARKING	52	52
ACCESSIBLE PARKING	3	3
TOTAL	55	55

Time of Day	Retail	Office	Daycare		Dental		Total
			#	%	#	%	
6:00 a.m.—12:00 noon	0.97	1.00	35	20	3	3	56
12:00 noon—1:00 p.m.	1.00	0.90	36	18	3	3	54
1:00 p.m.—4:00 p.m.	0.97	0.97	35	20	3	3	55
4:00 p.m.—6:00 p.m.	0.82	0.47	30	10	3	3	39
6:00 p.m.—8:00 p.m.	0.89	0.07	32	1	3	3	34
8:00 p.m.—12:00 midnight	0.61	0.03	22	1	3	3	23
			Total #				55

Daycare	Dental	Daycare	Dental
SF	SF	Req	Req
10,841	4,059	1/300	1/200



LEGEND

EXISTING	PROPOSED	
WM	WM	WATER METER
WV	WV	WATER VALVE
FH	FH	FIRE HYDRANT
GM	GM	GAS METER
SSMH	SSMH	SANITARY SEWER MANHOLE
SSCO	SSCO	SANITARY SEWER CLEANOUT
UP	UP	UTILITY POLE
LP	LP	SITE LIGHTING POLE
TSP	TSP	TRAFFIC SIGNAL POLE
TSB	TSP	TRAFFIC SIGNAL BOX
STMH	STMH	STORM MANHOLE
JB	JB	STORM JUNCTION BOX
CI	CI	CURB INLET
GI	GI	GRATE INLET
OHE	OHE	SIGN
EC	EC	EXISTING OVERHEAD ELECTRIC LINE
CC	CC	EXISTING CONCRETE CURB
PC	PC	PROPOSED CONCRETE CURB
NS	NS	NUMBER OF PARKING SPACES
FL	FL	PROPOSED FIRE LANE
SW	SW	PROPOSED 3,500 PSI 4" SIDEWALK PAVEMENT WITH #3 BARS AT 18" O.C.E.W.
SD	SD	PROPOSED 3,500 PSI 5" CONCRETE STANDARD DUTY PAVEMENT WITH #4 BARS AT 24" O.C.E.W.
SH	SH	PROPOSED 3,500 PSI 6" CONCRETE HEAVY DUTY PAVEMENT WITH #4 BARS AT 18" O.C.E.W.

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES, OSHA STANDARDS AND PROJECT SITE WORK SPECIFICATIONS.
2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULES, SLOPED PAVING, SIDEWALKS, EXISTING PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING ENTRANCE LOCATIONS.
3. CONTRACTOR SHALL REFER TO MEP PLANS FOR TOTAL NUMBER, LOCATIONS, SIZES AND OUTFALLS OF ROOF DOWNSPOUTS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING EXISTING ITEMS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. DAMAGES SHALL BE REPORTED TO ENGINEER OR RECORD PRIOR TO REPAIR. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
4. CONTRACTOR IS REQUIRED TO REMOVE OR RELOCATE, IN A PROPER MANNER, EXISTING IMPROVEMENT/NATURAL FEATURES TO ALLOW FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS INDICATED ON THE PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITY SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
5. CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS, PROPERTY CORNERS DAMAGED BY CONTRACTOR SHALL BE REPLACED BY A REGISTERED PROFESSIONAL LAND SURVEYOR AT CONTRACTOR'S EXPENSE.
6. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
7. CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
8. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE LATEST EDITION OF THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
9. ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
10. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, CENTER OR END OF STRIPE, FACE OF BUILDING OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
11. ALL CURB RADII SHALL BE 4' UNLESS OTHERWISE NOTED.
12. FIRE LINES ARE SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO LOCAL CITY REQUIREMENTS FOR EXACT LOCATION.

ACCESSIBILITY NOTES

1. PROPOSED CONSTRUCTION ON THIS SITE SHALL COMPLY WITH THE LATEST REVISION OF THE ADA REGULATIONS AND THE TEXAS ACCESSIBILITY STANDARDS (TAS).
2. ALL SLOPES ON SIDEWALKS ADJACENT TO BUILDINGS SHALL BE AT 1" PER FOOT MAX. DOWN TO THE TOP OF CONCRETE CURB.
3. ALL SLOPES WITHIN ACCESSIBLE PARKING SPACES AND ADJACENT MANEUVERING AREAS SHALL BE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS. ADA COMPLIANT SIGNAGE SHALL BE PROVIDED FOR EACH ACCESSIBLE SPACE.
4. ALL SLOPES ON SIDEWALKS SHALL BE A MAXIMUM OF 2% CROSS SLOPE AND 5% IN THE DIRECTION OF TRAVEL.
5. ACCESSIBLE ROUTES WITH A RUNNING SLOPE GREATER THAN 5.0% (1:20) IS A RAMP AND SHALL BE CONSTRUCTED WITH HANDRAILS AND 5' X 5' LANDINGS. RAMP SLOPE SHALL NOT EXCEED 8.33% (1:12).
6. RAMP RUNS WITH A RISE GREATER THAN 6 INCHES SHALL HAVE HANDRAILS.
7. SURFACE OF CURB RAMPS SHALL BE CONSTRUCTED WITH ADA COMPLIANT SURFACE. SURFACE OF ACCESSIBLE ROUTES AND CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. CURB RAMPS SHALL NOT EXCEED 6" IN LENGTH.
8. THE RISE OF ANY RAMP SHALL BE 30 INCHES MAXIMUM.

INSPECTIONS/CERTIFICATIONS NOTE

ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY LOCAL CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO SUBSTANTIAL PROJECT COMPLETION.

PERMITS NOTE

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED BY FEDERAL, STATE, OR LOCAL CODES AND/OR UTILITY SERVICE COMPANIES PRIOR TO START OF CONSTRUCTION.

TOPOGRAPHIC SURVEY NOTE

EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WAS PREPARED BY SCI SURVEY CONSULTANTS, INC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW. THE ENGINEER'S SEAL ON THESE PLANS DOES NOT APPLY TO THE PROPERTY BOUNDARY INFORMATION SHOWN HEREON.

CITY OF ROCKWALL

APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____, ____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

OWNER

MARY COURTIN
991 INTERSTATE 30
SUITE 103
ROCKWALL, TX 75087



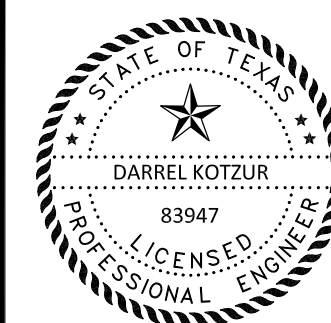
Know what's below.
Call before you dig.

CASE NUMBER: SP2020-031

SITE PLAN

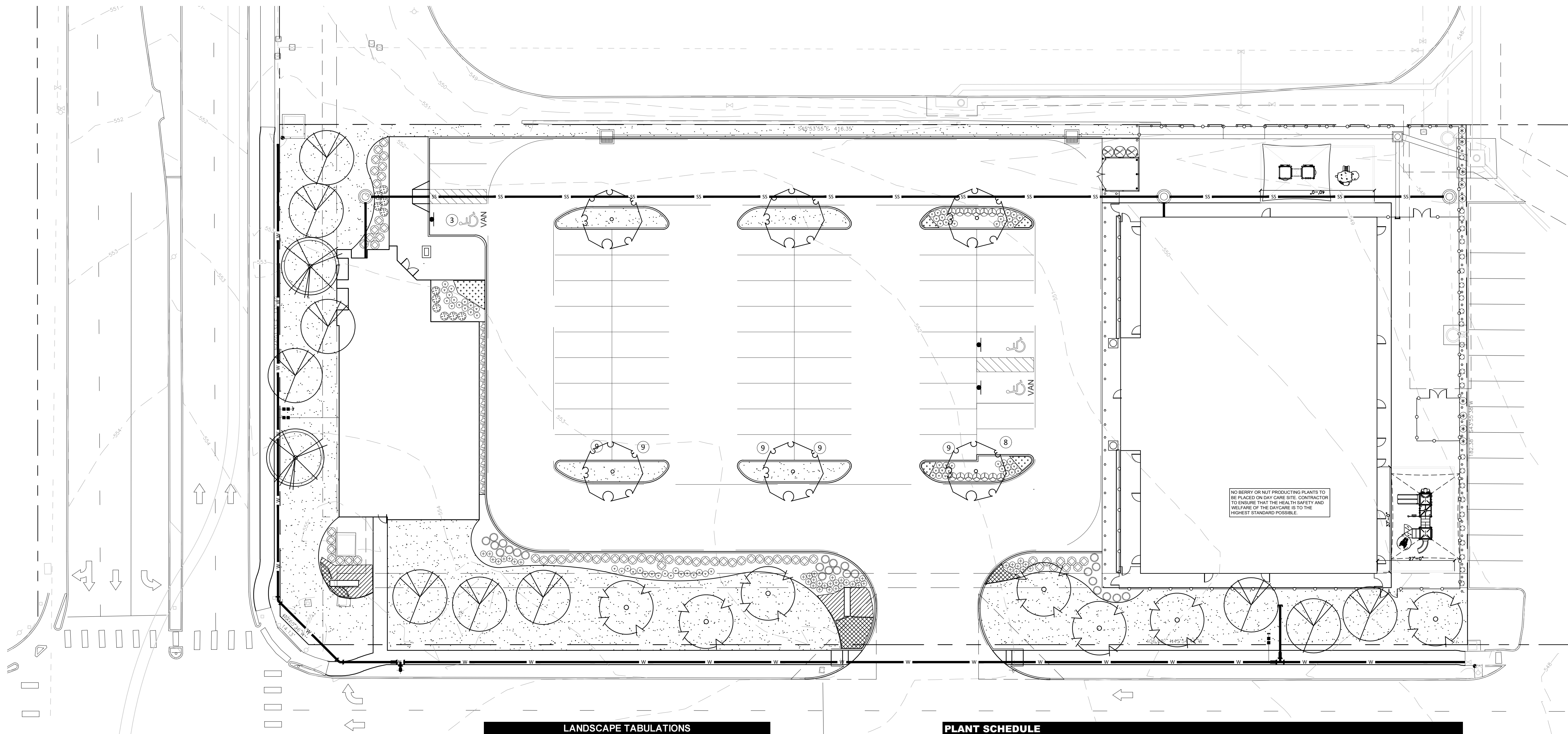
COURTIN DENTAL FLAGSTONE CORNERS BLOCK A, LOT 9

DRAWN BY: TG
DESIGNED BY: DK
LATEST REVISION: 10/16/20
KSA JOB NO.: MI-2129



SEAL: TBPE Firm Registration No. F-1356
SHEET NO.

C1.0



GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS, ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER, REMOVE ALL DIRT CLODS, STICKS, CONCRETE SPOILS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.

SOLID SOD:

- SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM, THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
- SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/4"), EXCLUDING TOP GROWTH AND THATCH.
- LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
- TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY.
- SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
- SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDAGRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.

LANDSCAPE NOTES

- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
- A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
- PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS, EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.
- EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
- MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
- QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
- CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST. TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
- 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. FINE STRAW MULCH IS PROHIBITED.
- WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAFI 1400 WEED BARRIER OR APPROVED EQUAL.
- CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

IRRIGATION:

- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS:

- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
- MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
- ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS:

- STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDEG STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS.

LANDSCAPE TABULATIONS ROCKWALL, TEXAS

GENERAL

- A 20' street buffer shall be provided the length of the property abutting a ROW.
 - One large canopy tree shall be provided for every 30 l.f. of frontage.
 - Trash areas shall be screened from public view.
- Mims Road = 417 l.f.
- | REQUIRED | PROVIDED |
|--------------------------|--------------------------|
| 20' wide buffer | 20' wide buffer |
| 13 canopy trees, 4" cal. | 13 canopy trees, 4" cal. |

East Ralph Hall Parkway = 183 l.f.

REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
6 canopy trees, 4" cal.	6 canopy trees, 4" cal.
trash area screened	trash area screened

Site area: 75,932 s.f.

REQUIRED	PROVIDED
	18,076 s.f. landscaped

PARKING LOT LANDSCAPE

- Surface parking shall be screened from all adjacent public streets and neighboring sites. The screen must extend along all edges and be a min. 3' in height, 80% opaque.
- There shall be a landscape island every 10 parking spaces. One shade tree shall be provided for every 10 cars.

Parking Spaces - 53

REQUIRED	PROVIDED
36" screen	36" screen
5 canopy trees, 4" cal.	6 canopy trees, 4" cal.

PLANT SCHEDULE

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
SHADE TREES					
10	CE	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	14' ht., 4' spread, matching
6	LE	'Bosque' Lacebark Elm	<i>Ulmus parvifolia</i> 'UPMTF'	4" cal.	14' ht., 4' spread, matching
7	MWO	Mexican White Oak	<i>Quercus polymorpha</i>	4" cal.	14' ht., 4' spread, matching
2	SO	Shumard Oak	<i>Quercus shumardii</i>	4" cal.	14' ht., 4' spread, matching
SHRUBS					
14	AB	Abelia 'Twist of Lime'	<i>Abelia x grandiflora</i> 'Hopley's'	5 gal.	full, 24" spread, 36" o.c.
67	AS	Autumn Sage	<i>Salvia greggii</i>	3 gal.	full, 24" o.c.
64	DBH	Dwarf Burford Holly	<i>Ilex cornuta</i> 'Burford Nana'	5 gal.	full, 20" spread, 36" o.c.
39	DY	Dwarf Yaupon Holly	<i>Ilex vomitoria</i> 'Condeaux'	5 gal.	full, 24" sprd, 24" o.c.
11	KO	Double Knock Out Rose (Red)	<i>Rosa hybrida</i> 'Radtko'	5 gal.	full, 24" spread, 36" o.c.
25	MS	Morning Light Miscanthus	<i>Miscanthus sinensis</i> 'Morning Light'	5 gal.	full, 20" spread, 36" o.c.
9	SRJ	Skyrocket Juniper	<i>Juniperus scopulorum</i> 'Skyrocket'	7 gal.	full, 24" sprd, 30" o.c.
3	WM	Wax Myrtle	<i>Myrica pusilla</i>	7 gal.	full, 30" sprd, 40" o.c.
GROUND COVER/VINES/GRASS					
110	BBL	Big Blue Liriope	<i>Liriope muscari</i> 'Big Blue'	1 gal.	full, 18" o.c.
25	FV	Fig Vine	<i>Ficus pumila</i>	1 gal.	full, with 4 runners minimum
60	MFG	Mexican Feather Grass	<i>Nassella tenuissima</i>	1 gal.	full, 18" o.c.
110	SC	Seasonal Color Bermuda Solid Sod	<i>Cynodon dactylon</i>	4" pots	full, 12" o.c.
		2-4" River Rock			

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

CITY OF ROCKWALL

APPROVED:

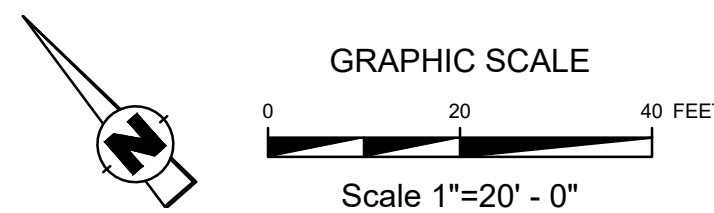
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____, ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____, ____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

IRRIGATION WILL MEET THE REQUIREMENTS OF THE UDC.



AWR Designs, LLC
P.O. Box 1746
Aledo, Texas 76008
amanda@awr-designs.com
c. 512.517.5589



Know what's below.
Call before you dig.

CASE NUMBER: SP2020-031

LANDSCAPE PLAN

COURTIN DENTAL FLAGSTONE CORNERS BLOCK A, LOT 9

DRAWN BY:	TG
DESIGNED BY:	DK
LATEST REVISION:	10/15/20
KSA JOB NO.:	MI 2129



11/13/20

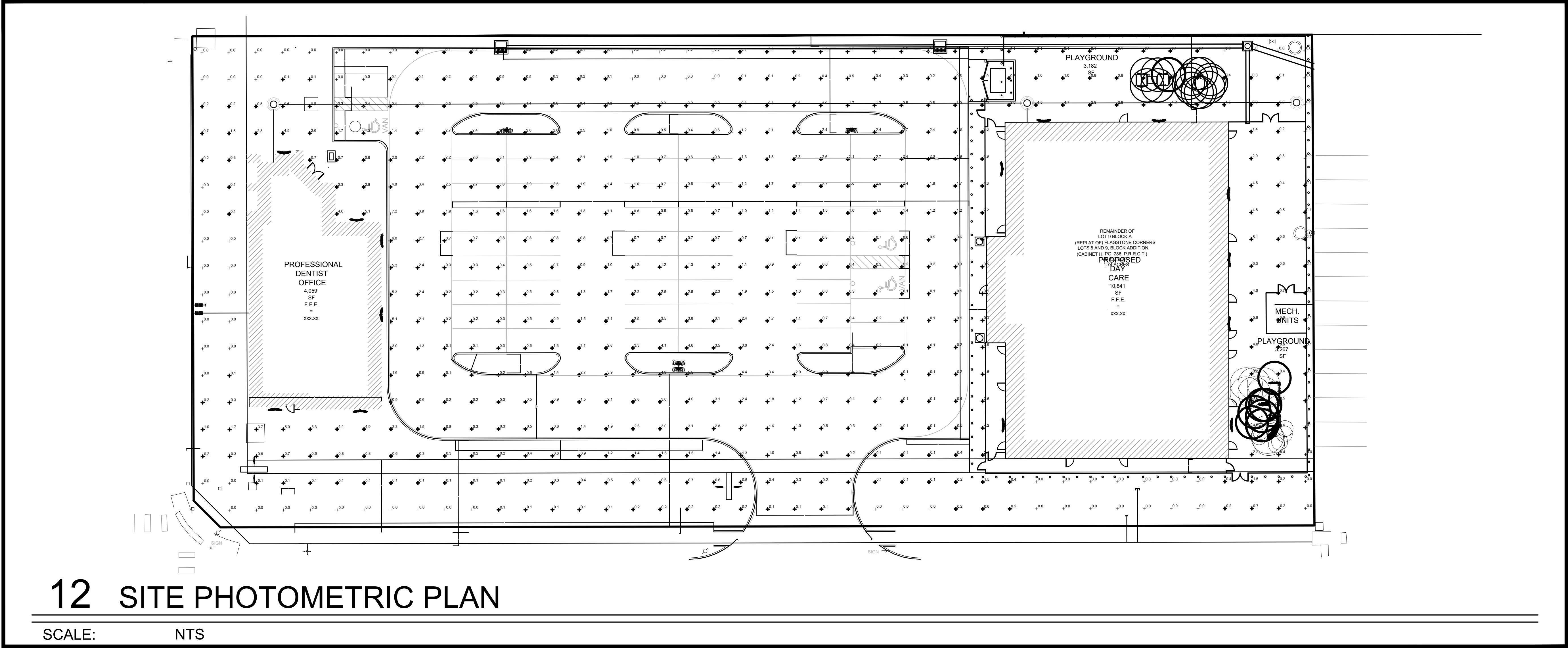
SHEET NO.

L1.1

DRAWING PATH: NAME \ LAYOUT \ PLOT DATE - TIME

SHEET NAME

PROJECT NAME



SITE PHOTOMETRICS







Mechanical, Plumbing and Electrical
Engineering Consultants

6860 Dallas Parkway, Suite 200
Plano, Texas 75024
214.509.8263
www.pqrus.com

Texas Registered Engineering
Firm F-16851



CONSTRUCTORS

LUMINAIRE SCHEDULE									
SYMBOL	LABEL	QTY.	CATALOG #	DESCRIPTION	LAMP	FILE	LUMENS	LLF	WATTS
	WP-1	14	ISC-AF-450-LED-T2-WH	WALL PACK WALL MOUNTED	25 WATT		1100	.85	
	C-1	3	KR6-20L-35K-KR6T-SSGC-FF	EXIT RECESSED DOWNLIGHT	13 WATT LED		NA	.85	
	AL-1	4	GLNA-AF-02-LED-E1-T3	POLE MOUNTED AREA LIGHT NOT TO EXCEED 20' HEIGHT	133 WATT LED		1500	.85	
	FL-1	4	TCRS8S-VISOR(FULL CUTOFF)	GROUND MOUNTED FLOOD W/FULL CUTOFF	8 WATT LED		812	.85	

STATISTICS SCHEDULE					
DESCRIPTION	AVG.	MAX.	MIN.	MAX/MIN	AVG/MIN
CALC ZONE #1	1.1 fc	7.1 fc	0.0 fc	N / A	N / A

UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
CAUTIONARY NOTE
THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE BASED IN ABOVE GROUND EVIDENCE OR INFORMATION GATHERED DURING THE FIELD SURVEY PORTION OF THIS PROJECT. AS SUCH, THIS INFORMATION IS SPECULATIVE IN NATURE, ONLY AND SHOULD NOT BE CONSTRUED AS FACT. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF THE UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY AND ALL CONSTRUCTION.

CITY OF ROCKWALL

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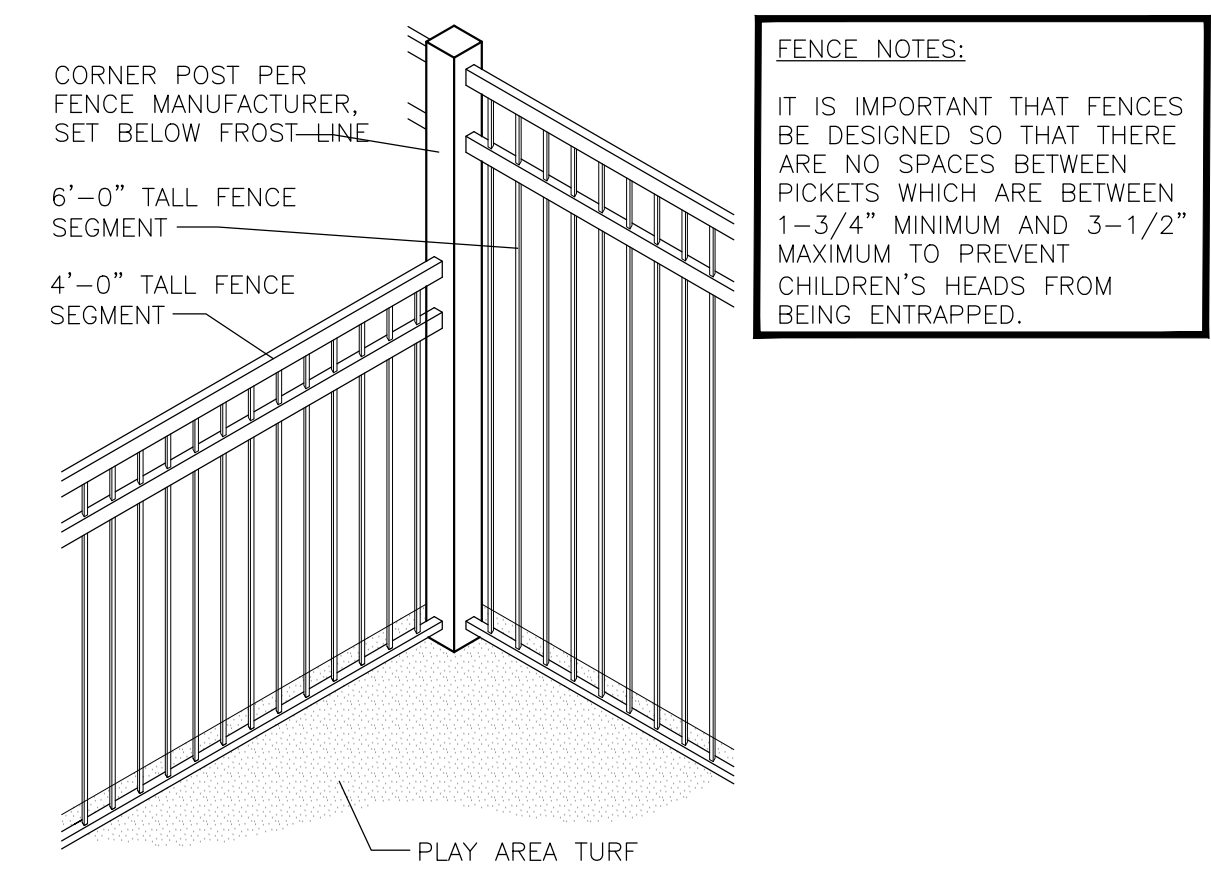
PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

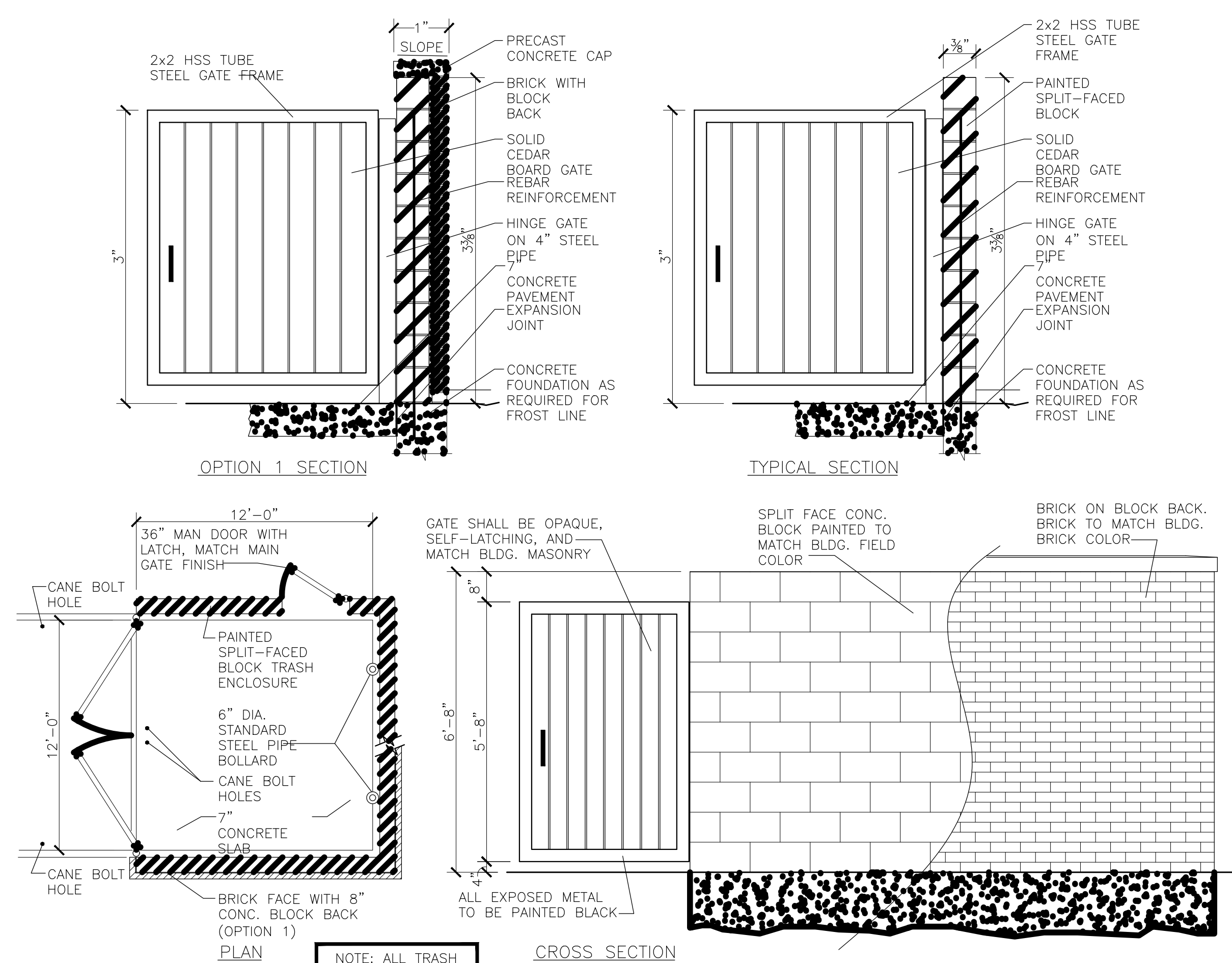
OWNER

MARY COURTIN
991 INTERSTATE 30
SUITE 103
ROCKWALL, TX 75087

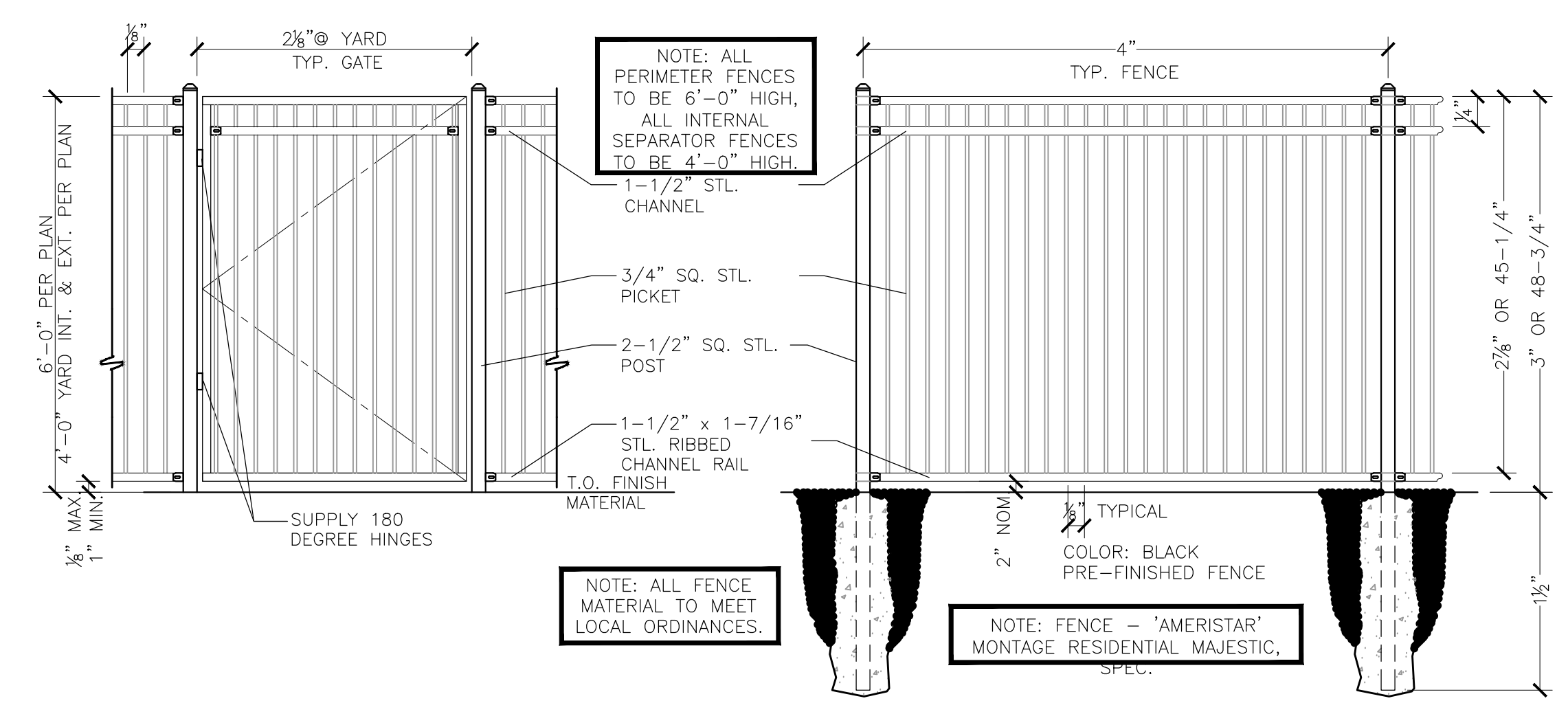
CASE NUMBER: SP2020-031



FENCE TRANSITION DETAIL



TRASH ENCLOSURE DETAIL



TYPICAL FENCE DETAIL

CITY OF ROCKWALL

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WITNESS OUR HANDS, THIS ____ DAY OF ____, ____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

OWNER

MARY COURTIN
991 INTERSTATE 30
SUITE 103
ROCKWALL, TX 75087

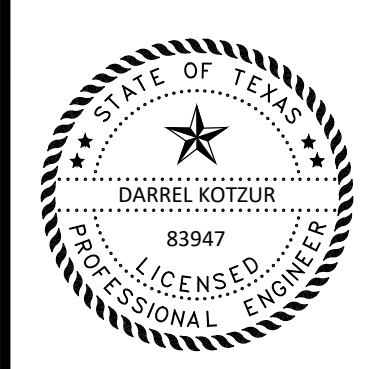
CASE NUMBER: SP2020-031

MARK	REVISION	DATE

COURTIN DENTAL OFFICE
ROCKWALL, TEXAS 75032

DETAILS

KSA
6781 Oak Hill Blvd.,
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T. 972.554.8800
www.ksaeng.com



SEAL:
TBPE Firm Registration No. F-1356
SHEET NO.

C9.0